

10 July 2023

<b>Committee</b>	Planning
<b>Date</b>	Tuesday, 18 July 2023
<b>Time of Meeting</b>	9:30 am
<b>Venue</b>	Tewkesbury Borough Council Offices, Severn Room

## **ALL MEMBERS OF THE COMMITTEE ARE REQUESTED TO ATTEND**

### **Agenda**

#### **1. ANNOUNCEMENTS**

When the continuous alarm sounds you must evacuate the building by the nearest available fire exit. Members and visitors should proceed to the visitors' car park at the front of the building and await further instructions (during office hours staff should proceed to their usual assembly point; outside of office hours proceed to the visitors' car park). Please do not re-enter the building unless instructed to do so.

In the event of a fire any person with a disability should be assisted in leaving the building.

#### **2. APOLOGIES FOR ABSENCE AND SUBSTITUTIONS**

To receive apologies for absence and advise of any substitutions.

#### **3. DECLARATIONS OF INTEREST**

Pursuant to the adoption by the Council on 24 January 2023 of the Tewkesbury Borough Council Code of Conduct, effective from 1 February 2023, as set out in Minute No. CL.72, Members are invited to declare any interest they may have in the business set out on the Agenda to which the approved Code applies.

	<b>Item</b>	<b>Page(s)</b>
<b>4.</b>	<b>MINUTES</b>	1 - 22
	To approve the Minutes of the meeting held on 20 June 2023.	
<b>5.</b>	<b>DEVELOPMENT CONTROL - APPLICATIONS TO THE BOROUGH COUNCIL</b>	
	<b>(a) 22/00505/FUL - Appledore, Corndean Lane, Winchcombe</b>	23 - 55
	<b>PROPOSAL:</b> Reconfiguration and extension of existing dwelling.	
	<b>OFFICER RECOMMENDATION:</b> Permit.	
	<b>(b) 22/01317/FUL - 3 Consell Green, Tewkesbury Road, Toddington</b>	56 - 74
	<b>PROPOSAL:</b> Construction of two dwellings.	
	<b>OFFICER RECOMMENDATION:</b> Delegated Permit.	
	<b>(c) 21/01409/FUL - The Coach House, Shuthonger, Tewkesbury</b>	75 - 101
	<b>PROPOSAL:</b> Change of use of land to glamping and the erection of four timber glamping pods with associated parking, pathways and groundworks. Erection of a reception cabin and communal sauna building. Re-surfacing of existing site access.	
	<b>OFFICER RECOMMENDATION:</b> Permit.	
	<b>(d) 23/00111/FUL - Wisteria Cottage, 67 Gloucester Street, Winchcombe</b>	102 - 116
	<b>PROPOSAL:</b> Erection of a single storey rear extension.	
	<b>OFFICER RECOMMENDATION:</b> Permit.	
	<b>(e) 22/00995/FUL - Land at Sparrow Hawk Way, Brockworth</b>	117 - 137
	<b>PROPOSAL:</b> Erection of two detached dwellings with associated parking and amenity.	
	<b>OFFICER RECOMMENDATION:</b> Permit.	
	<b>(f) 22/01058/PIP - Parcel 5004, Opposite Lilac Cottage, Hawling</b>	138 - 149
	<b>PROPOSAL:</b> Application for Permission in Principle for the construction of two dwellings.	
	<b>OFFICER RECOMMENDATION:</b> Refuse.	
	<b>(g) 22/00751/APP - Phase 7, Perrybrook, Brockworth</b>	150 - 212
	<b>PROPOSAL:</b> Approval of reserved matters (appearance, landscape, layout and scale) for Phase 7 comprising development of new homes, landscape, open space and associated works.	
	<b>OFFICER RECOMMENDATION:</b> Delegate Approve.	

**6. CURRENT APPEALS AND APPEAL DECISIONS UPDATE**

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To consider current planning and enforcement appeals and Department for Levelling Up, Housing and Communities appeal decisions.

**DATE OF NEXT MEETING****TUESDAY, 15 AUGUST 2023****COUNCILLORS CONSTITUTING COMMITTEE**

Councillors: M Dimond-Brown, M A Gore, S Hands, D J Harwood, M L Jordan, G C Madle, J R Mason, P W Ockelton (Vice-Chair), G M Porter, P E Smith (Chair), R J G Smith, R J E Vines and P N Workman

**Substitution Arrangements**

The Council has a substitution procedure and any substitutions will be announced at the beginning of the meeting.

**Recording of Meetings**

In accordance with the Openness of Local Government Bodies Regulations 2014, please be aware that the proceedings of this meeting may be recorded and this may include recording of persons seated in the public gallery or speaking at the meeting. Please notify the Democratic Services Officer if you have any objections to this practice and the Chair will take reasonable steps to ensure that any request not to be recorded is complied with.

Any recording must take place in such a way as to ensure that the view of Councillors, Officers, the public and press is not obstructed. The use of flash photography and/or additional lighting will not be allowed unless this has been discussed and agreed in advance of the meeting.

## TEWKESBURY BOROUGH COUNCIL

**Minutes of a Meeting of the Planning Committee held at the Council Offices,  
Gloucester Road, Tewkesbury on Tuesday, 20 June 2023 commencing  
at 10:00 am**

**Present:**

Chair  
Vice Chair

Councillor P E Smith  
Councillor P W Ockelton

**and Councillors:**

M Dimond-Brown, M A Gore, S Hands, D J Harwood, M L Jordan, G C Madle, J R Mason,  
R J G Smith, R J E Vines and P N Workman

**PL.9 ANNOUNCEMENTS**

- 9.1 The evacuation procedure, as noted on the Agenda, was advised to those present.  
9.2 The Chair gave a brief outline of the procedure for Planning Committee meetings, including public speaking.

**PL.10 APOLOGIES FOR ABSENCE AND SUBSTITUTIONS**

- 10.1 Apologies for absence were received from Councillor T J Budge. There were no substitutes for the meeting.

**PL.11 DECLARATIONS OF INTEREST**

- 11.1 The Committee's attention was drawn to the Tewkesbury Borough Code of Conduct which was adopted by the Council on 24 January 2023 and took effect on 1 February 2023.  
11.2 The following declarations were made:

<b>Councillor</b>	<b>Application No./Agenda Item</b>	<b>Nature of Interest (where disclosed)</b>	<b>Declared Action in respect of Disclosure</b>
D J Harwood	Agenda Item 5a – 22/00916/FUL – 2 Moorfield Road, Brockworth	Is the Chair of Brockworth Parish Council and had listened to the debate when this application had been considered by the Parish Council & Highways Committee but had not taken part.	Would speak and vote.



R J E Vines	Agenda Item 5a - 22/00916/FUL – 2 Moorfield Road, Brockworth	Is a Gloucestershire County Councillor for the area.	Would speak and vote.
	Agenda Item 5b – 22/01306/FUL – Elm Gardens, Badgeworth Road, Badgeworth		
	Agenda Item 5d – 22/01375/FUL – Part Parcel 8019, Chargrove Lane, Up Hatherley		

11.3 There were no further declarations made on this occasion.

## **PL.12 MINUTES**

12.1 The Minutes of the meeting held on 25 May 2023, copies of which had been circulated, were approved as a correct record and signed by the Chair.

## **PL.13 DEVELOPMENT CONTROL - APPLICATIONS TO THE BOROUGH COUNCIL**

13.1 The objections to, support for, and observations upon the various applications as referred to in Appendix 1 attached to these Minutes were presented to the Committee and duly taken into consideration by Members prior to decisions being made on those applications.

### **22/00916/FUL - 2 Moorfield Road, Brockworth**

13.2 This application was for erection of a dwelling and new access drive. The application had been deferred at the Planning Committee meeting on 25 May 2023 for a Planning Committee Site Visit to assess the safety of the access. The Planning Committee had visited the site on Friday 16 June 2023.

13.3 The Planning Officer advised that the application sought full planning permission for the erection of a detached two storey, four bedroom dwelling. The site currently formed part of the residential curtilage of 2 Moorfield Road, a detached property on a corner plot within the designated development boundary of Brockworth. The proposed new dwelling was designed with a hipped roof with grey tiles and the walls would be faced with render on a brick plinth. The Officer recommendation was to permit the application as set out in the Committee report.

13.4 The Chair indicated that there were no public speakers for this item. The Officer recommendation was to permit the application and he sought a motion from the floor. It was proposed and seconded that the application be permitted in accordance with the Officer recommendation. A Member drew attention to Page No. 31, Paragraph 8.24 of the Committee report in relation to the condition which would be attached regarding the protection of any retained trees and raised concern that condition 7 was not strong enough to ensure the two existing mature trees on the site were protected. The Planning Officer confirmed the trees would be retained and protected and the condition would ensure measures were in place as stated in the Tree Protection Plan. The Member asked if it was possible to strengthen the wording by removing the reference to 'any retained tree' and instead specifying the two mature trees. In response, the Legal Adviser explained that the proposed

condition was intended to protect the trees during construction. Going forward it may be possible to seek a Tree Protection Order for particular trees but that was a separate process. Another Member drew attention to condition 5 regarding pedestrian visibility splays and sought clarification as to whether the hedge shown in the photograph at Committee was required to be further reduced in order to comply with the height restriction in the condition. The County Highways representative explained that the Manual for Gloucestershire Streets required visibility splays of two metres by two metres and this access would be in excess of 10 metres, therefore the condition was satisfied in terms of visibility. The Member asked for clarification as to whether the hedge needed to be reduced any further in height and, if not, whether that could be enforced. The Development Management Team Manager (South) explained that the condition was there to ensure that the area set out in the condition was kept free from obstructions for the lifetime of the development – anything within that area would need to be 0.6 metres or below. His interpretation was that there was plenty of space without encroaching into the hedge that was remaining and, as it stood, that was as far back as the hedge needed to go and the height did not need to be reduced further.

13.5 With regard to the distance from the junction, a Member noted that the Minutes of the previous meeting stated there was a requirement for the access to be a width of 20 metres from the junction and the plans submitted showed this was 10 metres; she asked for clarification on the distance from the junction. The Planning Officer advised it was 19.9 metres from the centre point of the access. The Member drew attention to Page No. 29, Paragraph 8.14 of the Committee report which suggested that the garden space that would be left would be reasonable, and would mirror those of neighbouring dwellings, but she disagreed with that statement. In her view, the house was far too big for the area and would not mirror existing properties, furthermore, she was concerned there were only two parking spaces which was not enough for a four bed dwelling.

13.6 Upon being put to the vote, it was

**RESOLVED** That the application be **PERMITTED** in accordance with the Officer recommendation.

### **22/01306/FUL - Elm Gardens, Badgeworth Road, Badgeworth**

13.7 This application was for a proposed single storey detached residential annex and garden storage used ancillary to the host dwelling (Elm Gardens) following demolition of the existing residential outbuilding. The application was deferred at the Planning Committee meeting on 25 May 2023 for a Planning Committee Site Visit to assess the appropriateness of the development in Green Belt policy terms. The Planning Committee had visited the site on Friday 16 June 2023.

13.8 The Planning Officer advised that the application site comprised a detached dwelling with a large outbuilding to the rear, it was located on the western side of Badgeworth Road within the Green Belt. The existing block plan showed the location of the existing structure to the rear and the kennels had now been added along with the temporary mobile home which would be removed in six months and therefore was not shown on the proposed block plan. Members were advised that the annex would provide a disabled accessible single storey one bedroom unit with an attached garden store. The proposed building would have a simple linear pitched roof design which would be finished in render and slate. It would be smaller than the building it replaced and would have a lesser impact on the openness of the Green Belt. It was considered to be acceptable in terms of design and appearance and, given the substantial curtilage and separation from other nearby properties,

there would be no adverse impact on any other occupiers. As such, it was recommended that planning permission be granted subject to conditions as set out in the Committee report.

- 13.9 The Chair invited the applicant's agent to address the Committee. The applicant's agent advised that the proposal was for a single detached residential annex building to be used ancillary to the host dwelling at Elm Gardens, following demolition of the existing residential outbuildings within its residential curtilage. He made reference to the personal circumstances of the applicant and the need for level access accommodation and pointed out that the Tewkesbury Borough Plan was supportive of the provision of such annexes to support households and dependent family members. The Planning Officer agreed that the principle of development was acceptable as set out in the Committee report. The applicant's agent went on to explain that the new building was formed following the removal of a pair of ancillary residential outbuildings within the established curtilage which had become redundant for use. It was acknowledged that the site lay within Green Belt; however, as set out by the Planning Officer, replacement residential buildings were allowed in the Green Belt where the new residential building was not materially larger than the one it replaced. In this instance, the new building would have a 29% smaller footprint, a 28% reduction in volume and a 300mm reduction in height over the original outbuildings to be removed. Therefore, the proposals were materially smaller than the existing buildings. Not only would this meet national and local policy requirements but it would have a positive beneficial impact on the openness of the Green Belt compared to the existing situation. The new building had been designed to match the character and materials of the host dwelling, which Officers noted would represent a visual improvement to the area and the applicant's agent agreed with that. Matters relating to neighbouring amenity, highway impacts, drainage and trees had been considered and statutory consultees raised no objections. In conclusion, the applicant's agent felt it was clear that the proposed annex was acceptable in principle and would meet the requirements of local policy. The proposed reduction in built form and the design to match the host dwelling would also have significant beneficial impact on the character of the area and the Green Belt. Overall, the proposals accorded with the development plan and he asked Members to support the application in line with the Officer recommendation to permit.
- 13.10 The Chair indicated that the Officer recommendation was to permit the application and he sought a motion from the floor. It was proposed and seconded that the application be permitted in accordance with the Officer recommendation. A Member asked whether the agricultural occupancy tie which had been lifted in 2019 had been removed from the property or whether it had been removed for a particular resident. In response, the Planning Officer advised that the agricultural tie related to the land. The application in 2018 was for a Certificate of Lawful Use as residential use of the dwelling was in breach of the agricultural occupancy condition. In response to a query as to whether the tie had been permanently removed, the Legal Adviser confirmed that, as there had been a Certificate of Lawful Use in the breach, it could effectively continue. Another Member drew attention to condition 3 which stated that the development would only be used in conjunction with, and as ancillary to, the residential enjoyment of the adjoining dwelling known as Elm Gardens. She asked whether the wording could be amended to specify that a kitchen would not be added without a change of use application as her understanding was that it would not be classed as a separate dwelling without one. The Planning Officer advised it was to do with functional reliance as well as distance from properties, therefore, in her view it would still be considered ancillary if a kitchen was added. The Legal Adviser advised it would be unreasonable for the condition to specify there was no kitchen and many annexes had kitchens of their own with such annexes having conditions that they must remain ancillary to the dwelling. The Member asked what

measures were in place to ensure it did not become a residential dwelling over time and the Development Management Manager advised that it was necessary to apply reasonable tested conditions appropriate to a planning application of this type; if Officers became aware of any concerns regarding breaches, these would be subject to investigation by the Compliance team.

- 13.11 A Member queried whether there was any way of accessing the main property from the annex as she did not consider a gravel yard to be particularly conducive to wheelchair use. The Planning Officer explained that disabled access into the house was unnecessary and indicated that the annex was required because the occupants could not access the house. It was envisaged that the residents of the main house would take food from the kitchen to the annex rather than the person using the annex entering the main house. The Member understood this explanation but felt this undermined the ancillary use and that it would become a more permanent residential usage if the occupants were not accessing the main building. The Development Management Manager acknowledged this concern and indicated that it was possible that improvements in internal servicing would be made under permitted development rights but that was not something that could be reasonably controlled at this stage. The proposed conditions reflected the ancillary nature of the proposal and, should there be any concerns going forward, they could be investigated at the appropriate time.
- 13.12 A Member expressed concern regarding attrition of the Green Belt and the precedent being set each time planning permission for developments such as this were granted. He sought assurance that replacing a temporary structure with a permanent structure complied with the National Planning Policy Framework. In response, the Development Management Manager confirmed that, as set out in the Committee report, Officers had undertaken careful analysis of appropriateness of the development in Green Belt terms and this particular proposal provided benefits to the Green Belt with regard to openness. He reassured Members that permitting this application would not set a precedent for this type of development as each proposal must be assessed on its own merits. A Member noted that the applicant's agent had stated there was no local objection to the proposal; however, the Committee report set out that both Badgeworth and Staverton Parish Councils had objected on the grounds of inappropriate development in the Green Belt which should be acknowledged. In response to a query as to whether the property benefited from permitted development rights, the Development Management Team Manager (South) advised that planning permission would not be required for another ancillary use, such as a gym, but as this proposal was for living accommodation planning permission was required.
- 13.13 The proposer of the motion indicated that he had requested a Committee determination in order to assess the proposal against Green Belt policies. In this instance, there had been objection from the Parish Council but at the last Committee, the Parish Council had fully supported an application which was recommended for refusal and this demonstrated the need to assess each application on its merits – sometimes development in the Green Belt was acceptable and sometimes it was not but, in this case, he agreed with the Officer recommendation. The seconder of the motion took on board the concerns raised by the Member regarding inappropriateness in the Green Belt; however, given that the proposed building would be a reduction in size compared to the existing building, there would be a lesser impact on the Green Belt, therefore, he was happy to support the proposal. Upon being put to the vote, it was

**RESOLVED** That the application be **PERMITTED** in accordance with the Officer recommendation.

**23/00240/FUL - 9B Beckford Road, Alderton**

- 13.14 This application was for erection of a first floor rear extension and installation of a rear roof dormer. The application was deferred at the Planning Committee meeting on 25 May 2023 for a Planning Committee Site Visit to assess the impact of the proposal on neighbouring amenity and the visual impact on the streetscene. The Planning Committee had visited the application site on Friday 16 June 2023.
- 13.15 The Planning Assistant advised that this was a householder application in respect of a detached dwelling located in the village of Alderton. A Committee determination was required as Alderton Parish Council had objected to the application on the grounds that the proposal would be of an inappropriate and poor design, out of keeping with the village vernacular, overbearing on the neighbouring dwellings and would result in insufficient parking. No objections had been received from the statutory consultees but there had been eight letters of representation following neighbour consultation, all objecting to the application. As set out in the Additional Representations Sheet, attached at Appendix 1, two further letters of representation had been received since publication of the Committee report which also objected to the application. It was the Officer view that the proposal would not result in any undue harm to the streetscene or the occupants of the neighbouring dwellings, therefore, it was recommended that the application be permitted.
- 13.16 The Chair invited the applicant's agent to address the Committee. The applicant's agent advised that the application related to a recently built property within the main built-up area of the village of Alderton. It involved a small first floor extension above an existing single storey element and a dormer window in the roof space to maximise use of that space – the property as built had proved too small in terms of bedroom space which had hindered its sale viability. As Members would be aware, planning applications must be determined in accordance with the expectations and thresholds set out in local and national policies. In this case, Officers had identified the key policies, those being the householder extension policies of the Tewkesbury Borough Plan, and using their knowledge and experience of determining similar applications within the Borough, had set out clearly in the Committee report the threshold for what was acceptable from a design and amenity point of view. The applicant's agent believed Officers were right in concluding that the proposed extension met those design and amenity policy expectations and, in the interests of consistency, had accordingly recommended that planning permission be granted. In particular, Officers had identified that the proposed extensions would not breach the 45 degree code which was often used to assess the impact on neighbouring outlook and amenity; furthermore, at a distance of over 25 metres from the dormers and 22 metres from the new rear extension, the extensions exceeded the minimum back-to-back, window-to-window distances between properties. The Committee report also confirmed that the Council's Conservation Officer – who represented the main party tasked with assessing design quality in Tewkesbury Borough - had no overarching objections to the scheme. The applicant's agent noted there were concerns from the Parish Council and local residents and whilst clearly they were entitled to their views, which they had duly expressed, the concerns raised could not reasonably lead to the refusal of planning permission in this instance. Members would be aware that the concern expressed by locals that these extensions would set a precedent for other properties to extend and would affect land values, were not material considerations. The concern over the level of parking was also unfounded on the basis that Gloucestershire County Council's parking standards supported two parking spaces for properties of this size, meaning the standard was met. The applicant's agent hoped that Members would take Officer advice and permit the application today.

- 13.17 The Chair indicated that the Officer recommendation was to permit the application and he sought a motion from the floor. A Member noted from the Additional Representations Sheet that two further letters of representation had been received the second of which stated that, as referenced in the agent's planning statement, the original planning permission restricted how far the first floor bedrooms at the rear of the property could extend in order to maintain the amenity and privacy of neighbouring properties and went on to say that permitting this new application would mean that decision had been reversed - she asked for confirmation on whether that was the case. In response, the Planning Assistant advised this was not negotiated as part of this scheme; the application had been assessed against the same policies and it was considered there would be no undue harm. Another Member asked whether the proposal complied with the Alderton Neighbourhood Development Plan in terms of design and visual amenity and was informed that it complied in terms of matching materials and cladding was the most appropriate material to facilitate the design. The Member questioned whether cladding complied with the Alderton Neighbourhood Development Plan design and visual amenity clauses and was advised that, in this instance, it was not deemed inappropriate. The Member did not feel his question had been adequately answered and felt it would be helpful if Committee reports could outline whether the proposal complied with the relevant Neighbourhood Development Plan. The Legal Adviser explained that Policy LC1 of the Alderton Neighbourhood Development Plan related to promoting local distinctiveness in built form and included setting out that proposals should seek to reflect the distinctive character of Alderton Parish with materials such as stone, reconstituted stone, painted brick or render being integrated into the design of new dwellings in a proportionate and appropriate way to complement adjacent or nearby buildings. It also included that innovations and contemporary designs may be considered acceptable if scale and materials were appropriate to the site and its setting so there was a judgement issue to be made in terms of whether local distinctiveness was being incorporated in a modern way and Officers had concluded that this proposal fitted the streetscene. A Member expressed the view that nothing had changed in terms of the streetscene, particularly in terms of the size and design of the dormer, and he asked whether any alternative proposal could be put forward which might be considered more acceptable. In response, the Planning Assistant confirmed there would be no change to the principal elevation as the proposal was for a first floor rear extension and rear dormer. He explained that the proposed dormer was 26 cubic metres but under permitted development rights could be up to 50 cubic metres; the proposed rear extension could not be constructed under permitted development rights.
- 13.18 It was proposed and seconded that the application be refused on the basis that, due to its scale and form, it would have an unacceptable impact on neighbouring amenity and was out of keeping with existing dwellings in the area in conflict with Policies H1 and LC1 of the Alderton Neighbourhood Development Plan, Policy RES10 of the Tewkesbury Borough Plan and Policy SD14 of the Joint Core Strategy. The proposer of the motion felt this demonstrated why site visits were invaluable as everyone had been able to see the impact on neighbouring properties. The seconder of the motion noted that the original application was for two properties. Officers had attempted to address the concerns and objections raised by neighbouring occupants with amendments made to simplify and reduce the size of the roof and the scale of the overall building by reducing the first floor element. He did not believe the proposal complied with the Alderton Neighbourhood Development Plan as it did not meet the requirement of Policy H1 in terms of development being consistent with the scale, proportion and density of existing houses, or Policy LC1 which stated that residential development should be of a density appropriate to, and in keeping with, the immediate surrounding area. The proposal also failed to meet the criteria of Policy RES10 of the Tewkesbury Borough

Plan as it would have an unacceptable impact on the amenity of neighbouring properties and did not respect the character of surrounding development. Furthermore, it did not comply with Policy SD14 of the Joint Core Strategy due to the unacceptable impact on neighbouring amenity and therefore should be refused. The Planning Assistant recognised the concerns and indicated that he had discussed these with the Planning Officer responsible for the previous application. In terms of the bulk and mass of the roof there were no other examples in the local vicinity; however, each application must be assessed on its own merits. The proposer of the motion indicated there were negotiations at the time of the original application to ensure there was no impact on surrounding neighbours, which was the reason for the single storey at the back to reduce the mass of the building, but now that was being extended up to roof height and the roof was also being extended which, in her opinion, would have a detrimental impact and conflicted with the Alderton Neighbourhood Development Plan and the Council's own policies. The seconder of the motion asked what could be carried out under permitted development rights should the application be refused and was informed that the first floor extension could not be built without planning permission but the dormer could be extended to take up the majority of the rear roof.

13.19 Upon being put to the vote, it was

**RESOLVED** That the application be **REFUSED** as, due to its scale and form, it would have an unacceptable impact on neighbouring amenity and was out of keeping with existing dwellings in the area in conflict with Policies H1 and LC1 of the Alderton Neighbourhood Development Plan, Policy RES10 of the Tewkesbury Borough Plan and Policy SD14 of the Joint Core Strategy.

#### **22/01375/FUL - Part Parcel 8019, Chargrove Lane, Up Hatherley**

13.20 This application was for agricultural access and hardstanding (amended description). The application had been deferred at the Planning Committee meeting on 25 May 2023 for further negotiations to establish whether changes could be made to the proposal to reduce the visual harm to the undeveloped rural landscape. The Planning Committee had visited the application site on Wednesday 24 May 2023.

13.21 The Development Management Team Manager (South) indicated that Members had the benefit of a site visit last month and had been shown the position and extent of the access and turning circle. As set out in the Committee report, the principle of agricultural and associated development was established; however such development had to be balanced to limit any harm to the countryside. In this case there is no identified ecological harm, nor any objections from County Highways. Notwithstanding this, the entrance to the site would create very significant change to the character of Chargrove Lane, in an area of valued landscape, and those concerns were reflected in the significant number of objections received. For that reason, and because the development would appear conspicuous as it extended into the field and detached from existing development, there was conflict with Policies AGR1 and LAN2 of the Tewkesbury Borough Plan. The application was deferred by the Planning Committee in May 2023 to allow for further negotiations to establish whether changes could be made to the proposal to reduce the visual harm to the landscape. In response, a detailed landscaping scheme had been provided which would be appropriate in terms of the type of planting proposed, which would provide some benefits; however, the access road would remain unchanged and identified harms to the character of the lane in particular would remain. Officers had carried out a balancing exercise, taking into account the economic benefits to the rural economy, employment and site mitigation measures from additional planting but the visibility splay/bellmouth would remain unaltered at 60 metres and the

clearing would allow views of the access and turning head into the field. Members were advised that the field could already be accessed by an existing field gate on the corner of Chargrove Lane and the South Park access track. On balance it was considered that the benefits would not outweigh the identified harm to the countryside and landscape and the application was recommended for refusal as set out in the Additional Representations Sheet, attached at Appendix 1. It was noted that a further letter of representation had been received the previous night which had been copied to Members and could be summarised as: the proposed landscaping would not mitigate the impact of the industrial scale opening onto Chargrove Lane; the 60 metre splay and access would create a huge area of hardstanding which could be used as a layby for parking and traffic; the owner may want to restrict parking in that area and introduce a chain and posts; the land was not owned but tenant farmed; cattle were brought in once a year; there was conflict in the applicant's presentation and statement in respect of the number of cattle; the community had concerns relating to the actual purpose of the industrial scale access; cattle arrived in the adjacent orchard at Chargrove Lane recently in two large trucks which backed into the orchard area; it could encourage further development; and the lane was heavily used and highly appreciated by walkers, joggers and cyclists.

- 13.22 The Chair invited the applicant's agent to address the Committee. The applicant's agent indicated that Members would recall this application from last month when the applicant had addressed them to explain the very real need for this agricultural access to support his livestock and arable business on this land which he had farmed for over 15 years. As the applicant had explained, the location of the access was chosen for functional and safety reasons to ensure cattle trucks and large farm machinery could safely enter and egress the site. The applicant's agent clarified that access was no longer available through South Park Farm as planning permission had been granted for residential development and there was no other access that met the requirement for large cattle trucks entering the site. The application had been deferred at the last meeting to seek additional landscape mitigation and, having instructed a landscape consultant, an updated landscaping scheme had been provided. In short, this now proposed additional tree/copse planting to the south, new Oak tree planting to the north and native hedgerow reinstatement along the field boundaries enhancing biodiversity and green infrastructure. Confirmation had also been provided that the natural crushed stone to be used on the access area would be sourced from local quarries to reflect the muted tones and palette of the local landscape character and visuals had been provided to show the access and proposed landscaping once mature based on the updated landscaping scheme and access design. The applicant's agent felt it should be borne in mind that the proposal before Members had already been revised, with the much needed cattle handling pens having been removed at the Officer's request. He noted that the Tree Officer had commented on the latest landscape proposals and the response recognised that the existing section of hedgerow to be removed did not fulfil the criteria of an 'important hedgerow' and no objections had been raised to the new hedgerow planting on either side of the entrance. The applicant's agent noted that the Tree Officer had commented on the compact nature of the planting and, with that in mind, the landscape planting had been updated to revise the species and adjust the Oak planting to ensure space for successful tree establishment. No fundamental objections had been raised by the Tree Officer to the planting scheme and if further modifications were required, the applicant was agreeable to the condition that had been recommended. In summary, the applicant's agent advised this was simply an application for an agricultural access into an agricultural field; the land was not within a local or national landscape designation and neither County Highways, the Council's Ecologist nor the Tree Officer had raised fundamental objections to the scheme. Furthermore, Officers also correctly acknowledged this was not inappropriate development within the Green Belt. With that and the amended landscape plan in mind the applicant's



agent urged Members to permit this application which would support a local farmer and his business during an extremely challenging economic climate.

- 13.23 The Chair indicated that the Officer recommendation was to refuse the application and he sought a motion from the floor. It was proposed and seconded that the application be refused in accordance with the Officer recommendation. A Member asked whether consideration had been given to making the access one way and the Chair sought clarification as to whether turn-ins had been considered as opposed to a turning circle. In response, the Development Management Team Manager (South) indicated that he was unable to answer in terms of whether alternatives had been investigated but he indicated that a track was still needed for lorries to enter and exit the site. A layby would cause similar landscape issues as it would require removal of a section of hedgerow and would potentially cause problems if vehicles pulled off the road to park up. A Member drew attention to the letter attached to the Additional Representations Sheet which suggested that the consultation expiry date was 26 June 2023 and she asked if that was correct and, if so, what impact that had in terms of the Committee making a decision. In response, the Development Management Team Manager (South) advised that the date related to the consultation with the Landscape Officer who had been given until 26 June 2023 to comment on the revised proposals. The Landscape Officer was the only person who had been reconsulted on the changes; their comments had been received and they were satisfied with the mix of planting but it was a matter of judgement as to whether that negated the issues in terms of landscape harm.
- 13.24 A Member expressed the view that he could not support the motion to refuse the application and disagreed with the conclusion at Page No. 78 of the Committee report which suggested the development would cause unacceptable and unwarranted visual harm to the character of the rural landscape. He could not see what impact the development would have given that it was on ground level and felt that Members needed to make a judgement on balance. He indicated that no objections had been raised by County Highways and there was no evidence of ecological harm, in fact it may bring some benefits in that regard. The harm that had been identified was the amenity value of the land but houses had been built on the surrounding agricultural land at some point and the Green Belt principles were not relevant here. He raised concern that, should the application be refused, the Council may be liable to being awarded costs on appeal. In response, the Development Management Manager clarified that the reasons set out in the report were not objections on Green Belt terms but related to the visual and landscape harm resulting from the proposal. Officers had been concerned about that and had been seeking amendments including updating the landscape scheme; however, they continued to have residual concerns hence the recommendation before the Committee today. Another Member expressed the opinion that the views across the field should be protected and she agreed with the motion to refuse the application on landscape grounds in accordance with the Officer recommendation. She also felt that it was necessary to ensure habitats were protected. A Member indicated that the report stated there was no evidence of ecological harm and the proposed development was isolated from existing agricultural development with the nearest buildings at South Park which was now entirely residential. She did not agree with the agricultural justification set out at Page No. 77 of the Committee report and argued that the development complied with Policy AGR1 and EMP4 of the Tewkesbury Borough Plan in relation to being needed by the applicant in order to continue with the family business. In terms of the objection raised regarding this being cherished area for local communities, she pointed out that Google Maps showed a housing development, petrol station and a hand car wash only two fields from the application site and good landscaping would mitigate any visual harm. She suggested that conditions could be included to prevent parking which would help to alleviate concerns about the need to erect chain and post fencing. On balance, she believed the application should be permitted and she could not support the motion

to refuse the application. The proposer of the motion recognised this engineered solution did not contravene Green Belt policy; however, he believed it would be detrimental to the environmental quality of the site and would have a negative impact on the local amenity, as Members had seen on the site visit. The proposal contravened a number of local and national planning policies and he planned to continue to hold the environment in high regard.

13.25 Upon being put to the vote, it was

**RESOLVED** That the application be **REFUSED** in accordance with the Officer recommendation.

#### **PL.14 CURRENT APPEALS AND APPEAL DECISIONS UPDATE**

14.1 Attention was drawn to the current appeals and appeal decisions update, circulated at Page No. 87. Members were asked to consider the current planning and enforcement appeals received and the Department for Levelling Up, Housing and Communities appeal decisions issued.

14.2 Accordingly, it was

**RESOLVED** That the current appeals and appeal decision update be **NOTED**.

#### **PL.15 TIMING OF FUTURE PLANNING COMMITTEE MEETINGS**

15.1 It was proposed, seconded and

**RESOLVED** That Planning Committee meetings commence at 9.30am going forward.

The meeting closed at 11:25 am

## Appendix 1

**ADDITIONAL REPRESENTATIONS SHEET**

Date: 20 June 2023

The following is a list of the additional representations received since the Planning Committee Agenda was published and includes background papers received up to and including the Monday before the meeting.

A general indication of the content is given but it may be necessary to elaborate at the meeting.

<b>Agenda Item No</b>	
5a	<p><b>22/00916/FUL - 2 Moorfield Road, Brockworth</b></p> <p><b>The agent for the application</b> has stated that the entrance to the site is going to be shared and is well away from the junction. The overall traffic movements are marginally more than existing and the County Highways Officer has agreed that this is acceptable after negotiation.</p> <p>The agent wanted to highlight that the Committee attended the site in a large red van and parked opposite the site entrance, near to the junction, making the situation seem more dangerous than it is 99.9% of the time. The agent feels that this should be mentioned to the Committee if they decide that the junction is actually dangerous.</p>
5b	<p><b>22/01306/FUL - Elm Gardens , Badgeworth Road, Badgeworth</b></p> <p><b>A revised site location plan has been received and the existing and proposed block plans have also been revised to show the kennels and the mobile home.</b></p> <p>Members will recall a mobile home at the rear of the site. It should be noted that the mobile home is temporary - the applicant has confirmed that it will be removed within six months and is in place and being used whilst the main dwelling is being renovated. Therefore, the mobile home is not shown on the proposed block plan.</p> <p>The Officer recommendation remains to permit subject to conditions as set out in the Committee report.</p>
5c	<p><b>23/00240/FUL - 9B Beckford Road, Alderton, Tewkesbury</b></p> <p>Since the preparation of the Committee report, two additional letters of objection have been received from local residents. The details of these letters can be found below. The comments made in the additional letters of representation have been considered; however, the Officer recommendation remains as <b>Permit</b> subject to the conditions set out in the report.</p>

### **Letter of Representation 1**

*Dear Planning Committee*

*I apologise for not being able to attend the meeting today to speak in person, but arrangements made many months ago couldn't be cancelled. Thank you for the site visit although it was disappointing to find that you did not have time to visit other affected properties .*

*I still think the proposed building application 23/00240/FUL is overbearing and overshadows the surrounding homes, I hope that following your site visit that you understand my deep concerns.*

*As the conservation officer put in his report :*

*"The proposal is for a rear extension at first floor level with a shallow roof pitch rising to the original ridge with a substantial box dormer creating a monolithic three storey elevation. By virtue of its scale, mass and form the proposed rear extension and dormer are bulky and awkward and create a dominant and unsympathetic addition which by any architectural standards is incongruous."*

*Although he said, "No Objection on heritage grounds" he did say: "However, it is likely that this design approach would be contrary to other, non-heritage planning policies".*

*Alderton Parish Council also said in their comment that "the proposal is an inappropriate and appalling design, and which affectively creates visually a three-storey building to the rear."*

*I would like to draw the Committee's attention to comments made in the delegated report for the related planning application **20/01282/FUL**.*

*When changing the semi-detached houses into to 2 detached houses, point 3.2 and 4.0 comments on the reduction of the size of the buildings and reducing the overall scale of the proposed building by virtue of the reduction in the depth of the first-floor element, in attempt to address Planning Officer concerns and objections raised by neighbouring occupiers. I would ask why this no longer matters.*

*I think the 3-bedroom house at 9B Beckford Road makes a lovely family home like its twin house at 9A Beckford Road and as we already have many 4-bedrooms properties in Alderton, I don't see why the builders would want to change the house.*

*I would therefore urge the planning committee not to permit this application.*

### **Letter of Representation 2**

*Further to my comments submitted previously regarding the above planning application I would like the committee to consider the following comments which are directly relevant to the planning application and the associated planning policies. And I would like to register my objection to the proposal.*

*1. As referred to in sections 3.2 and 3.3 of the Zesta Planning Statement, the original planning permission in 2022 (20/01282/FUL) restricted how far the first floor bedrooms at the rear of the property could extend. This decision was made in order to maintain the amenity and privacy of neighbouring properties (which has been successful) and therefore enforce the **JCS Policy SD14** and Local Plan **Policy RES10**.*

*If permission is granted for the new application this would mean that the planning department has been persuaded to reverse this decision. However, since nothing has changed in this short period of time there is no justification to do so. A reversal of this decision would also mean that the **JCS Policy SD14** and **Local Plan Policy RES10** would no longer be enforced.*

*This decision is fundamental to the whole application and if reversed would mean that planning policy is being ignored.*

*With reference to the report prepared by the case officer for the committee:-*

*2. Section 8.2 of the report highlights the design flaws and utilitarian appearance of the proposal, which is incongruous with the surrounding properties. This was also emphasized and disapproved of by the Conservation Officer. However, the report concludes that **"Whilst this relationship is not ideal in design terms the extension would be viewed from a limited number of public vantage points, the majority of which being within private residential gardens and dwellings."***

*This implies that consideration is only given to the appearance on view to members of the public passing the front of the property (ie. the street scene) and no consideration is given to the owners of the neighbouring properties who will view this on a daily basis.*

*3. Section 8.9 of the report states: **"There is already a degree of overlooking of the rear gardens of the neighbouring dwellings of 9A and 11 Beckford Road. The new windows would not intensify this to an unacceptable level where undue harm would be caused."***

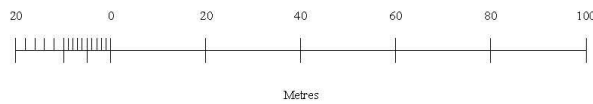
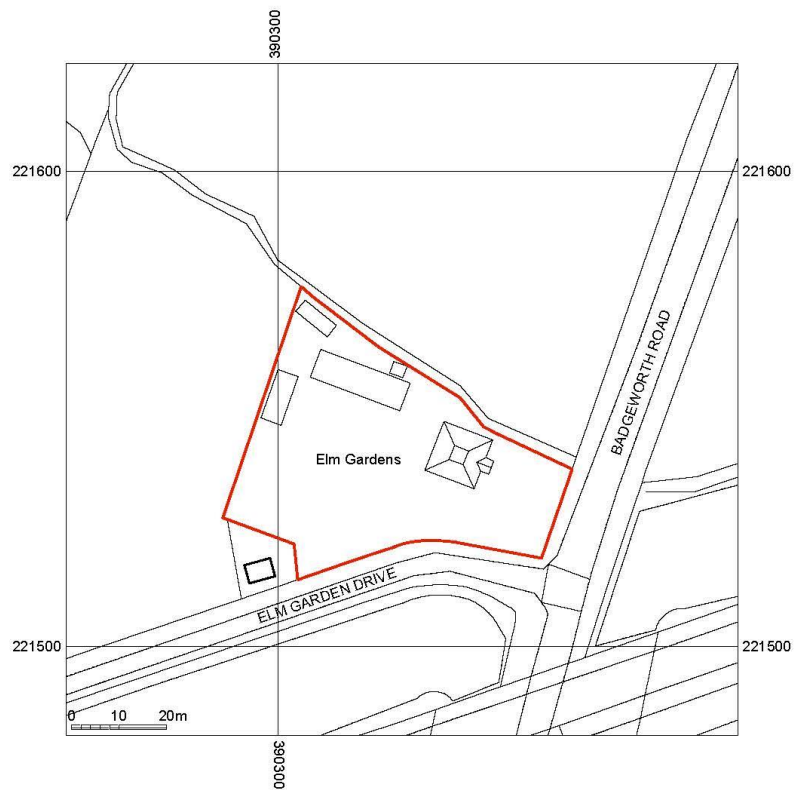
*Section 8.10 of the report states: **"The impact of the proposal upon neighbouring properties has carefully been assessed and it is considered that there would not be an undue impact upon their amenity in accordance with Policy RES10 of the TBLP and Policy SD14 of the JCS."***

***Both of the above statements are inaccurate. There is currently no degree of overlooking at all on the patio and seating area to the rear of 9A.** The garden is only overlooked by 9B when you move much further away from the house. However, the proposed new windows of 9B would then directly overlook the patio and seating area of 9A, removing all privacy which is definitely an unacceptable increase in the level of overlooking.*

*There is evidence of this, whereby the rear first floor windows of 9B were only visible on the photographs that were taken by the Planning Office from the garden of 9A when he was positioned half way down the garden. The windows of 9B were not visible when a photo was taken from the patio and seating area of 9A, concluding that the patio and seating area is not currently overlooked and the Planning Department's decision referred to in comment (1) above to restrict how far the first floor bedrooms at the rear of the property could extend has been successful. To reverse this decision now would greatly impact upon the neighbouring properties and would definitely have an undue impact upon their amenity and privacy, therefore completely disregarding Policy RES10 of the TBLP and Policy SD14 of the JCS.*

5d	<p><b>22/01375/FUL - Part Parcel 8019, Chargrove Lane, Up Hatherley</b></p> <p><b>Since the Committee report was written, a further landscaping drawing has been submitted</b> to address concerns raised by the Tree Officer. The details shown on drawing 23126.101 Rev.C (attached) are considered appropriate in respect of species and siting, however officers concerns in respect of the landscape harm from the proposed access and turning area and ability of the landscaping to mitigate this harm remain.</p> <p><b>Two representations have been received from 'Hatherley &amp; Shurdington Triangle Action Group' and are attached to this report.</b></p> <p>Officers do not consider the amended landscaping plan is sufficient to overcome the identified harm as set out in the report. It is therefore recommended the application is refused for the following amended reason:</p> <p>The proposed development is poorly sited in relation to existing buildings, access tracks, ancillary structures and landscape features and is therefore contrary to the provisions of the NPPF, Policy SD6 of the Gloucester, Cheltenham and Tewkesbury Joint Core Strategy, and Policies EMP4, LAN2 and AGR1 of the Tewkesbury Borough Local Plan. For reasons of extensive loss of hedgerow and the significant area of hard surfacing needed to facilitate the turning of articulated HGVs, the development would cause unacceptable and unwarranted visual harm to the generally undeveloped rural landscape. Additional tree planting, copse creation and hedge restoration to parts of the Chargrove Lane fails to mitigate the identified harm and conflict with policy</p>
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Item 5b - 22/01306/FUL - Elm Gardens , Badgeworth Road, Badgeworth,



**OS Map**  
scale 1:1250

**Aj Architects Ltd.**

<small>PROJECT</small>	<small>PROJECT NO.</small>
Elm Garden's, Badgeworth Road, Cheltenham, Glos GL51 6TF	20/676

<small>DRAWING TITLE</small>	( B )	A4
1:1250 OS Map		

<small>ANTHEA JACKSON BA(Hons) Arch Dip (Arch) RIBA 11 PRINCES STREET CHELTENHAM GLOUCESTERSHIRE GL52 6BE</small>	<small>Tel: (01242) 581101 Mobile: (07813) 941017</small>
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SURVEY



Reference: A 100 Plan 2023 - Added Mobile Home and Canal

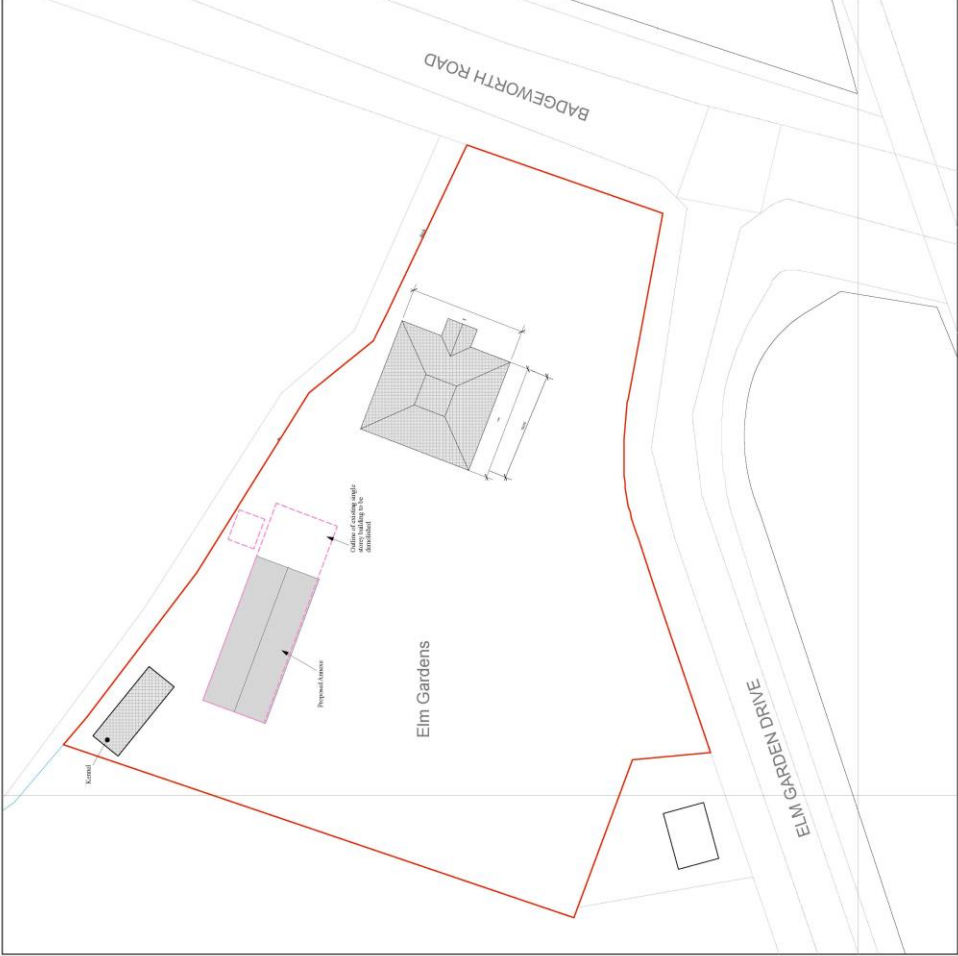
PROJECT NO:	22786
DATE:	Oct. 2022
PROJECT NAME:	100
CLIENT:	AT PEARCE ARCHITECTS
PROJECT ADDRESS:	30-32 ST. ANDREW'S
PROJECT TYPE:	EXISTING BANK PLAN
SCALE:	1:250 (R/A)

**Aj Architects Ltd.**  
 100  
 30-32 ST. ANDREW'S  
 CHEBEHAM,  
 GLAS. G13 5TF  
 EXISTING BANK PLAN  
 1:250 (R/A)





PROPOSALS



Block Plan  
scale 1:200

Revision: 01/01/2022 02/03/2022 03/03/2022

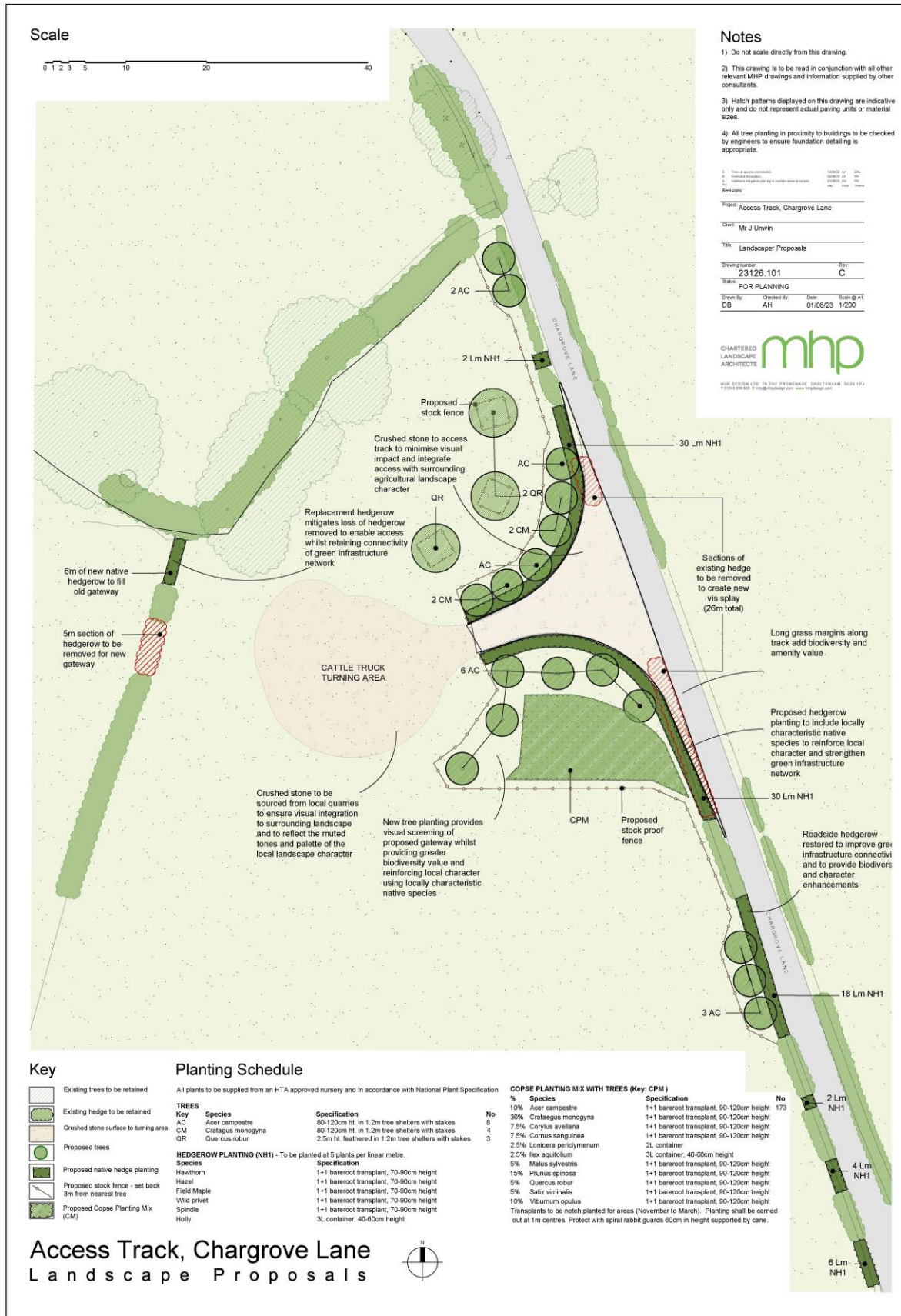
NO.	DATE	BY	CHKD
220	(D)		Oct. 2022

APPROVED FOR THE ARCHITECT BY THE ARCHITECT  
 APPROVED FOR THE CLIENT BY THE CLIENT  
 02/12/2022  
 02/12/2022

Aj Architects Ltd.

PROJECT NO.	22/786
CLIENT	Elm Gardens, Elm Garden Drive, Cheltenham, Gloucestershire, GL51 6TF
SCALE	1:200 (P.A)

Item 5d - 22/01375/FUL - Part Parcel 8019, Chargrove Lane





## HaShTAG, Hatherley & Shurdington Triangle Action Group - HaShTAG

Dear Planning Officer/Chair of Planning

### **22/01375/FUL : Access road off Chargrove Lane, Up Hatherley**

We write to request a period of public consultation for the now (twice) amended proposals to construct a new access road and large area of hard standing in the green belt off Chargrove Lane.

As the planning officer for this case points out in his latest report for the 20<sup>th</sup> June planning committee meeting –

***“It should be brought to Members’ attention that the application has been amended twice since first submission. As originally submitted, the proposal was for a new entrance splay, turning circle and adjacent cattle handling pen. Shurdington and Up Hatherley Parish Council’s comments, consultation responses, and public representations relate to this original submission. After submission of the first and second application amendments, there was no further consultation.”***

Following the closure of the public consultation before the end of February further amended plans were submitted by the applicant on the 27<sup>th</sup> March, 11<sup>th</sup> April, and then further revised plans on the 5<sup>th</sup>, 12<sup>th</sup> and 13<sup>th</sup> June, the latter within one week of the scheduled decision. In addition the plans that are now going to the committee are quite different from those that were available for the public consultation, as follows:

The huge area of hard standing (100 foot in diameter) was to be sited behind the hedge in the second field away from the lane, but now has been moved to be in the first field i.e. much nearer the lane itself and therefore considerably more visible in this highly valued green belt setting.

The cattle pen has been removed from the plans.

There have been considerable changes to the proposed planting.

In addition a member of the public may wish to have the opportunity to speak at the planning meeting but there is now insufficient time to allow/prepare for this.

We therefore request that this application is not decided next week at the 20<sup>th</sup> June Planning Committee, and that the public are given the opportunity to submit further comments, especially as this lane with its adjacent green belt views is a much used and valued community asset.

We note on your website the Consultation Expiry Date is given as 26<sup>th</sup> June (since an amendment document was submitted on 5<sup>th</sup>), yet now a hasty decision is scheduled to be on the 20<sup>th</sup>.

In view of the shortness of time before the planning meeting, please acknowledge this request and reply to confirm this application has been withdrawn from the planning meeting next week.

Yours sincerely,

On behalf of HASHTAG



**Planning application 22/01375/FUL** Roadway off Chargrove Lane, Up Hatherley.

Dear,

In your phone call to me this morning you stated that: you and Mr. Ristic would make the decision whether to Defer, and that you did not consider the recent changes sufficient to warrant Deferral for a further consultation period.

You also stated that the turning circle (having disappeared once) had returned in the original location; this is untrue.

In December 2022 (now Superseded plans), the turning circle (and the cattle pen) were in the second field, away from (sensitive) Chargrove Lane.

**By 26<sup>th</sup> February the bulk of the many Objection letters (up to number 35) had been received.**

Published on 27<sup>th</sup> March, a 'Site Layout Amended' plan suddenly shows no turning circle, as does the 'Site Location Plan Superseded' published on the same date.

Plans then received between 11<sup>th</sup> and 17<sup>th</sup> April show a turning circle (made of "crushed stone") reintroduced and **moved** into the more sensitive, more visible field immediately adjacent to Chargrove Lane.

This would have a far greater impact on the appearance of the Green Belt and on the huge recreational Amenity of the Chargrove Lane 'valued landscape'.

The many Chargrove Lane users have not had the opportunity to address this worsening of the impact, and challenge its poorly explained or documented reasoning.



Furthermore, there are now three recent yellow markings on the lane surface which show the midpoint and the immense length of the hard surfacing and re-fencing required, and the hedge removal (a total of 60 metres) needed to provide visibility flares for the longest 50-foot-long articulated vehicle to enter from both directions.

Apart from the midpoint, the two end markings are indistinct and do not enable objectors to visualise the extent of the proposed transformation of this entire section of a much walked lane.

They need to be made more prominent for a further consultation.

In addition the hard-surfaced road access area will extend back 70 feet into the field. If the road markings were put down purely for the benefit of the planning committee on their site visit, then a post should also have been put 70 feet back into the field to show the huge area of grass that is to be removed.

Following deferral at the May 25th Planning Meeting, despite the officers' recommended Refusal grounds, two plans have been submitted attempting to "mitigate" this impact by screening (the latest published on 13<sup>th</sup> June, barely one week before the decision meeting on 20th, effectively evading challenge).

In your Report to the Planning Committee you state that ***"It should be brought to Members' attention that the application has been amended twice since the first submission. .... After submission of the first and second application amendments, there was no further consultation"***.

Yet although you regard it important that this point needs to be highlighted to the Committee, when members of the public request that further consultation, TBC is refusing to allow this.

In addition, we would also like to point out that following major changes to elected councillors from the May local elections; the new Planning Committee was only appointed a couple of days prior to the May Planning Committee Meeting. Many, if not most, of the Planning Committee were new councillors to the Planning Committee, and we believe that there was very limited (and insufficient) time for them to read the large number of objections and documents associated with this application, which was one of many other applications on the Agenda that day.

This important application seeks to make a major large scale access road entry into the Green belt from a very narrow and very well used country lane. It requires the widest hard surfaced entry splay, totally out of character with the area, which will have a significant impact on the appearance of the Green belt.

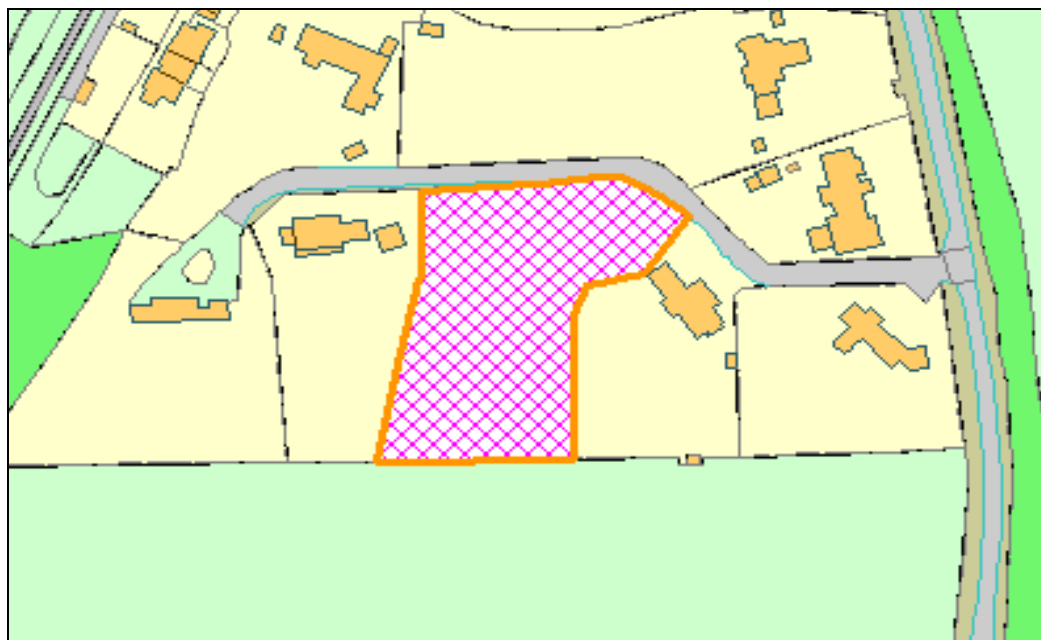
We request a written reply, explaining why this application is not being deferred for further public consultation, for planning process transparency, and to show to others, rather than a phone call.

Yours sincerely,

## Planning Committee

<b>Date</b>	18 July 2023
<b>Case Officer</b>	Sarah Barnes
<b>Application No.</b>	22/00505/FUL
<b>Site Location</b>	Appledore, Corndean Lane, Winchcombe
<b>Proposal</b>	Reconfiguration and extension of existing dwelling.
<b>Ward</b>	Winchcombe
<b>Parish</b>	Winchcombe
<b>Appendices</b>	<ul style="list-style-type: none"> <li>Site location plan</li> <li>Existing block plan</li> <li>Existing elevations north and south</li> <li>Existing elevations east and west</li> <li>Existing ground floor plan</li> <li>Existing first floor plan</li> <li>Existing second floor plan</li> <li>Proposed pool house elevations 1</li> <li>Proposed pool house elevations 2</li> <li>Landscape masterplan</li> <li>Revised site plan</li> <li>Revised floor plans, roof plan and elevations x 8</li> <li>Revised proposed block plan</li> <li>Revised site access strategy plan</li> </ul>
<b>Reason for Referral to Committee</b>	Parish Council Objection
<b>Recommendation</b>	Permit

### Site Location



## 1. The Proposal

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Full application details are available to view online at:

<http://publicaccess.tewkesbury.gov.uk/online-applications/applicationDetails.do?activeTab=summary&keyVal=RAQMRRQDJYL00>

- 1.1 The current application is for the reconfiguration and extensions of the main house. It would create additional living accommodation.
- 1.2 The proposal would also include a new pool house, a pool and extensive landscaping in the rear garden.
- 1.3 Revised plans were submitted on the 3rd of February 2023 reducing the overall size / bulk of the extensions, particularly on the north and south elevations.

## 2. Site Description

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- 2.1 This application relates to Appledore, a large detached contemporary style dwelling with a separate double garage located to the south-west of the market town of Winchcombe. The site sits within a small cluster of residential development accessed from Corndean Lane. To the east and west of the site are existing residential properties and to the north of the site is a private road which provides access to the residential dwellings, and residential properties beyond. South of the site is open agricultural fields.
- 2.2 The site is located within the Cotswolds Area of Outstanding Natural Beauty. The Cotswold Way (PROW) runs along Corndean Lane to the east, but is separated from the site by intervening domestic properties and tall hedgerows either side of the lane.
- 2.3 The site is located within Flood Zone 1 as defined by the Environment Agency, indicating the lowest probability of risk for surface water flooding.

## 3. Relevant Planning History

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Application Number	Proposal	Decision	Decision Date
T.2170/C	Lean-to extension of existing dwelling to provide bathroom and bedroom.	PERMIT	22.09.1965
11/00337/FUL	Replacement dwelling	PER	07.07.2011
12/00653/FUL	Reduction in size and amendments to design of approved replacement dwelling 11/00337/FUL	PER	22.08.2012
14/01186/FUL	Replacement Dwelling	PER	07.04.2015

15/00590/FUL	Proposed erection of new dwelling and garage.	PER	08.07.2015
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#### 4. Consultation Responses

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Full copies of all the consultation responses are available online at

<https://publicaccess.tewkesbury.gov.uk/online-applications/>.

##### 4.1 Winchcombe Town Council – Objection on the following grounds;

- Appreciate that the applicant has addressed some of the concerns they had raised. In particular, the revised design envisaged a greater setback from the service road.
- The committee still had concerns regarding the scale and design of the South front of the proposals.
- These would stand out incongruously in views of the town enjoyed by Cotswolds Way walkers approaching down the hill from Belas Knap.
- While recognising that the existing building is pretty brutal, the Committee considered that more could be done to reduce its visual impact.
- The committee appreciated that the latest design proposed increased space between building and service road that would reduce the impact of the development.
- The proposed building would still be very much out of line with the neighbouring properties.

##### 4.2 Landscape Officer – No objections subject to landscaping conditions being attached to the decision.

##### 4.3 Gloucestershire Highways Officer – No objections.

##### 4.4 Drainage Officer – no objections to the proposals in principle. However, the applicant has not submitted any surface water proposals. The scale of the proposed changes requires an appropriate drainage strategy. Furthermore, there is considerable local knowledge of springs in the area. A report which assesses the likelihood of flood risk to third parties being exacerbated by the disruption of these springs is required.

#### 5. Third Party Comments/Observations

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Full copies of all the representation responses are available online at

<https://publicaccess.tewkesbury.gov.uk/online-applications/>.

##### 5.1 The application has been publicised through the posting of a site notice for a period of 21 days. Seven letters of objection have been received from local residents plus one letter with general comment to the original plans. The planning reasons have been summarised as follows:

- Objections to the proposed basement construction. Such an excavation would result in unavoidable disruption during the development period (noise, dust, heavy vehicles) along with the disruption of traffic along this narrow private road.
- Flood risk as the property is sited on impermeable lower lias clay.
- Drainage will be impacted on by the new swimming pool, underground garage etc
- The proposal would increase the floorspace by some 50%
- Concerns over the stability of the very old stone bridge if it's used.



- Overlooking from the enlarged top storey onto the staircase / door of Brook House Annexe
- The design of the dwelling and its location along the shared private driveway is already close to the boundary and is overbearing to the neighbouring dwelling to the west (Innisfree).
- Further additions to this house would make it disproportionate to the other houses in the vicinity.
- The north face of the dwelling would be about 60% larger in area and 12.5% taller than at present. The sheer scale of the proposal would be overwhelming.
- The proposed size / design is out of character / scale with the neighbouring dwellings.
- The increased mass / bulk would make the house an oppressive presence along this lane.
- Utterly disproportionate, unsympathetic and out of keeping with the scale of the neighbours.
- Overbearing to the neighbours
- Impact / intrusion on the AONB and PROW
- Disruption / damage that may be caused to the private road.

**5.2** Four letters of objection and one letter with general comments have been received from local residents to the revised plans dated 3rd February 2023. The planning reasons have been summarised as follows:

- Even without the proposed basement, the revised scheme would still increase the bulk of the dwelling by about 50%
- Harm to the AONB – the house is clearly visible from Belas Knap and the Cotswold Way, and the revised plans don't mitigate this.
- The overall height of the proposal should be reduced.
- All of the proposed bulk would be at the front of the dwelling which would further accentuate the oppressive bulk for all those walking along this private road.
- The revisions don't address their original objections.
- Increased overlooking to Brookfurlongs
- Totally out of scale / out of keeping with the existing neighbouring dwellings. The neighbouring dwellings are all of a traditional style. This would be a modernist boxy design.
- This dwelling already breaches the height limit and towers over neighbouring dwellings. This proposal would increase the height even further.
- The lane would feel even more overlooked / enclosed

## **6. Relevant Planning Policies and Considerations**

---

### **6.1** Statutory Duty

Planning law requires that applications for planning permission must be determined in accordance with the Development Plan unless material considerations indicate otherwise

The following planning guidance and policies are relevant to the consideration of this application:

### **6.2** National guidance

National Planning Policy Framework (NPPF) and the National Planning Practice Guidance (NPPG)

**6.3** Gloucester, Cheltenham and Tewkesbury Joint Core Strategy (JCS) – Adopted 11 December 2017

SD4 (Design Requirements)  
SD6 (Landscape)  
SD7 (Cotswolds AONB)  
SD10 (Residential Development)  
SD14 (Health and Environmental Quality)  
INF1 (Transport Network)

**6.4** Tewkesbury Borough Local Plan to 2011-2031 (TBLP) – Adopted 8 June 2022

RES10 (Alteration and Extension of Existing Dwellings)

**6.5** Neighbourhood Plan

Winchcombe and Sudeley Neighbourhood Development Plan – 2011-2031

1.1 Protecting the Distinctive Character of the Area  
5.1 New Development  
5.5 Extensions and alterations to existing buildings

**7. Policy Context**

---

**7.1** Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that proposals be determined in accordance with the Development Plan unless material considerations indicate otherwise. Section 70 (2) of the Town and Country Planning Act 1990 provides that the Local Planning Authority shall have regard to the provisions of the Development Plan, so far as material to the application, and to any other material considerations.

**7.2** The Development Plan currently comprises the Joint Core Strategy (JCS) (2017), Tewkesbury Borough Local Plan to 2011-2031 (June 2022) (TBLP), and a number of 'made' Neighbourhood Development Plans.

**7.3** The relevant policies are set out in the appropriate sections of this report.

**7.4** Other material policy considerations include national planning guidance contained within the National Planning Policy Framework 2021 and its associated Planning Practice Guidance (PPG), the National Design Guide (NDG) and National Model Design Code.

**8. Evaluation**

---

***Design and Visual amenity***

**8.1** JCS Policy SD4 of the Joint Core Strategy sets out requirements for high quality design while Local Plan Policy RES10 provides that development must respect the character, scale and proportion of the existing dwelling and the surrounding development.

- 8.2** Policy 5.1 of the Winchcombe & Sudeley Neighbourhood Plan states that ‘New development should reflect the character of its surroundings. Where appropriate, planning applications will need to demonstrate an understanding of those qualities and features that make up this character and show how their proposals will respect and complement what is already there. The design of new development will be expected to:
- a. Complement and enhance, where appropriate, the prevailing size, height, scale, materials, layout, density and access of any surrounding development;
  - b. Demonstrate that the amenities of neighbouring residential occupiers are not unduly affected through overlooking, loss of light, over-dominance or disturbance; and
  - c. Provide landscaping, where necessary, to complement and enhance the characteristics of the surrounding area.
- 8.3** Policy 5.5 of the Winchcombe & Sudeley Neighbourhood Plan advises that “Proposed extensions and alterations should normally be:
- a. subservient in size and scale to the existing “host” building;
  - b. constructed of complementary materials; and
  - c. while possibly innovative or modern, nevertheless reasonably accord with the character and appearance of nearby existing buildings.
- 8.4** This policy goes on to advise that *“New roofs are to be pitched unless this is out of character with the existing roofscape of the immediate area, or where a flat roof would complement or enhance the character of the original or nearby building.”*
- 8.5** Appledore is a detached replacement dwelling that was built in 2015 (in accordance with 15/00590/FUL).
- 8.6** The latest proposal seeks to provide significant improvements to enhance the aesthetics and appearance of the dwelling. The existing dwelling would be reconfigured and extended to provide the applicant with more useable living space. Whilst the existing dwelling is a substantial size, there are flaws in its design. This includes a confused hierarchy and the south facing elevation is considered to be overly bulky and dominant. The applicant’s aim with this proposal is to obtain additional living space and also to rationalise the form / massing of the dwelling.
- 8.7** Revised plans were requested to reduce the bulk of the proposal, particularly on the north and south elevations. Revised plans were subsequently submitted on the 3rd February 2023, reducing the overall size / bulk of the extensions, on the north and south elevations. The proposed basement has also been omitted from the proposal.
- 8.8** Objections have been received from local residents and the Town Council on the grounds that the proposal as revised would still be overly large and out of keeping with the neighbouring dwellings along this road.
- 8.9** Whilst the proposal as revised would still substantially increase the size of the dwelling, it would however result in improvements to the design and appearance of the building. The proposed alterations / extensions would be of a contemporary design which would be appropriate given that the design of the existing dwelling.

- 8.10** In relation to materials, the existing dwelling has extensive use of stone, metal and glass, which have been proposed for the new extensions. Additional timber cladding and bronze alloy cladding and a brown sedum roof have been introduced to help address the dominance of the existing south facing elevation.
- 8.11** The dwellings along Corndean Lane are nearly all large detached dwellings set within large gardens so the proposal would be in-keeping with the scale of the other dwellings within the vicinity. Given the size of the plot, it's considered that extensions of this scale could be supported without being harmful to the character of the dwelling itself and the immediate area.
- 8.12** With regards to the proposed pool house and pool, they are considered to be of a suitable size and design and would integrate well into the rear garden.
- 8.13** Overall, it's considered that the proposal as revised would be of an acceptable size and design in keeping with the character and appearance of the property. Therefore, the proposal would have an acceptable impact on the character of the surrounding area and complies with the requirements of Policy RES10 of the Local Plan, Policy SD4 of the JCS and Policies 5.1 and 5.5 of the Winchcombe & Sudeley Neighbourhood Plan.

#### ***Effect on the living conditions of neighbouring dwellings***

- 8.14** Policy SD14 of the JCS requires that new development must cause no harm to local amenity including the amenity of neighbouring occupants. Local Plan Policy RES10 provides that extensions to existing dwellings should not have an unacceptable impact on adjacent property and residential amenity.
- 8.15** Policy 5.1 of the Winchcombe & Sudeley Neighbourhood Plan states that "The design of new development will be expected to:
- Demonstrate that the amenities of neighbouring residential occupiers are not unduly affected through overlooking, loss of light, over-dominance or disturbance."
- 8.16** Objections have been received from the immediate neighbours on the grounds of overlooking and being overbearing.
- 8.17** Appledore is sited between two dwellings 'Innisfree' to the west and 'Brook House' to the east. The concerns raised by the neighbours have been taken into consideration, however, this dwelling is set within large grounds and the distance between the dwellings would still be substantial. The 'window to window' distance between the dwelling once extended and the neighbouring dwelling to the east and to the west would be more than the required 21 metres so the overlooking would not be adverse / harmful. There is also planting being proposed along the eastern boundary which would increase the privacy for both dwellings.
- 8.18** Overall, the impact on the neighbouring dwellings has been fully assessed and it's considered that there would not be an adverse impact on their residential amenity.

#### ***Landscape (AONB)***

- 8.19** Policy SD7 of the JCS advises that the Cotswolds AONB is nationally designated for its landscape importance. Each local authority has a statutory duty under the Countryside and Rights of Way Act 2000 (Section 85) to 'have regard to the purpose of conserving and enhancing the natural beauty of the AONB' Proposals will be required to be consistent with the policies set out in the Cotswolds AONB Management Plan.

- 8.20** Policy 1.1 of the Winchcombe and Sudeley Neighbourhood Plan advises the following; “Development should respect local character and where relevant, must protect and enhance the Cotswolds AONB. Development should protect areas of ecological importance and proposals to enhance biodiversity are encouraged.”
- 8.21** The site falls within the Cotswolds AONB where priority is given to conserving the landscape. The existing garden can be seen at a distance from some parts of the Cotswold Way which is directly to the south. Trees do however provide a role in terms of helping to screen this dwelling.
- 8.22** In terms of the impact of the proposal on the setting of the AONB, the impact needs to be considered against the current position, which is the existing, fairly recently built dwelling. It was considered that the current dwelling was acceptable in the context of the location and setting, including the impact on the character and appearance of the AONB, and therefore consideration of the current planning application must be made against this baseline.
- 8.23** The Landscape Officer has been consulted on the submitted landscape visual appraisal and considers that “there is no doubt that the dwelling (once extended), although somewhat larger in size than the existing (including a small increase in height), would have a minor or negligible additional impact on the existing setting, including the character and appearance of the AONB. The main public views of the building would be from the PROWs to the south, and views of the property would mostly be distant, as part of a much wider landscape panorama, glimpsed for only a short distance (within the setting of the other dwellings and set on the development edge of Winchcombe) or screened by intervening vegetation.”
- 8.24** The Landscape Officer continues by stating that “It is encouraging to see that the proposed cladding of the upper levels of the altered dwelling would be of more natural tones, which would help with visual softening of the building’s massing, although there is also a large proportion of glazed elements to this elevation. The change in cladding materials to the upper levels, along with the revised indicative landscape masterplan showing additional tree, shrub and hedgerow planting to the southern boundary of the garden, would provide a small level of mitigation to offset the increased bulk of the dwelling. Should consent be granted, fully detailed hard and soft landscape plans would need to be submitted for approval in due course.”
- 8.25** On balance, it’s considered that the impact on the surrounding AONB would not be harmful and the proposal would therefore accord with the relevant policies in this regard.

### ***Highways***

- 8.26** Policy INF1 ‘Transport Network’ states that developers should provide safe and accessible connections to the transport network to enable travel choice for residents and commuters.
- 8.27** The existing access to the north would be blocked off. The main access would now be through the existing entrance to the east of the dwelling. The driveway in this location would provide space for manoeuvring with a 12 metre diameter turning circle. A total of 4 car parking spaces would be provided.

**8.28** The Gloucestershire Highways officer has been consulted and considers that the proposed reconfigurations would not affect the public highway set away from the junction and would potentially improve movement and safety on the private lane with gates set back and an apparent increase in private parking and turning space relocating the garage internally within the expanded house.

### ***Drainage***

**8.29** JCS Policy INF2 sets out that development proposals must avoid areas at risk of flooding. Proposals must not increase the level of risk to the safety or occupiers of a site, the local community or the wider environment either on the site or elsewhere.

**8.30** The site falls within Flood Zone 1 as shown on the Environment Agency's indicative flood map indicating that it has a low probability of river or sea flooding. The EA's updated Flood Map for Surface Water identifies part of the site as having either a very low or low risk of surface water flooding.

**8.31** The Drainage Officer has been consulted and has advised that he does not object to the proposals in principle, however, the applicant has not submitted any surface water proposals. The scale of the proposed changes requires an appropriate drainage strategy. Furthermore, there is considerable local knowledge of springs in the area. A report which assesses the likelihood of flood risk to third parties being exacerbated by the disruption of these springs is therefore required.

**8.32** The applicant has confirmed that the site currently drains partly to soakaways and partly to the mains drain. However, when comparing the existing situation versus what has been proposed, there is actually a reduction in impermeable areas: 563 square metres of existing impermeable compared to 440 square metres of proposed impermeable which is a betterment on the existing. This is based on the following information confirmed the architect/landscape architect:

- Existing rear paving has been deemed impermeable. Existing paths within garden have been deemed permeable.
- Proposed paving is permeable, with drainage through gaps between pavers.
- Proposed green roofs are permeable, with any overflow going into water butts and any overflow of that going to permeable areas
- Swimming pools have been counted as impermeable
- Resin bound surface has been counted as permeable.

**8.33** On this basis, the proposed development would not result in a greater impact when compared with the existing, which is the key planning policy test. At the time of writing this report a further response from the drainage officer has not been received. In the meantime, a suitable drainage condition has been added and the drainage details / information would be required to be submitted prior to the development commencing. **A further update will be provided at committee.**

### ***Other Issues***

**8.34** With regards to other issues that have been raised by local residents such as noise and disturbance from the building works, if this did become a problem, then it could be reported to our Environmental Health team who would investigate and then take appropriate action.

**8.35** With regards to the concerns raised by local residents about where builders would park they may block the road, there is a decent amount of off-road parking at the site and if works vehicles did block the access to this road then that would be a criminal offence and a matter therefore for the police.

## **9. Conclusion**

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**9.1** It is considered that the proposal as revised would not be unduly harmful to the appearance of the existing dwelling nor the surrounding AONB and it would not result in an unacceptable loss of residential amenity to neighbouring dwellings. The proposal would also be of an acceptable size and design.

## **10. Recommendation**

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**10.1** The proposal as revised accords with relevant policies as outlined above, it is therefore recommended the application be **PERMITTED** subject to the following conditions:

## **11. Conditions**

---

**1** The works hereby permitted shall be begun before the expiration of three years from the date of this consent.

Reason: Required to be imposed by Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

**2** The development hereby permitted shall be carried out in accordance with the following documents:

Site location plan dated 22<sup>nd</sup> April 2022, Pool house elevations 1 and 2 dated 22<sup>nd</sup> April 2022, revised plans 633\_DO\_PL\_011 dated 3<sup>rd</sup> February 2023, landscape visual appraisal and landscape masterplan (1073800) dated 22<sup>nd</sup> April 2023, revised site access strategy plan dated 28<sup>th</sup> April 2023 and proposed revised block plan dated 30<sup>th</sup> June 2023 except where these may be modified by any other conditions attached to this permission.

Reason: To ensure that the development is carried out in accordance with the approved plans.

**3** No work above floor plate level shall be carried out until samples or where appropriate details of the walling and roofing materials proposed to be used have been submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details.

Reason: To ensure that the proposed development is of a satisfactory appearance in the interest of visual amenity.

**4** No works hereby permitted shall be implemented until full details of the landscaping scheme for the development has first been submitted to and approved in writing by the Local Planning Authority. The details shall include location, species and sizes, planting specifications, maintenance schedule, provision for guards or other protective measures. The details shall also include the design and location, type and materials to be used for hard landscaping including specifications.

Reason: To ensure suitable landscaping at the site.

- 5 All planting shall be carried out in accordance with the approved details in the first planting season following the completion or first occupation/use of the development, whichever is the sooner. The planting shall be maintained in accordance with the approved schedule of maintenance. Any trees or plants which, within a period of five years from the completion of the planting, die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species.

Reason: To ensure adequate provision for trees/hedgerows, in the interests of visual amenity and the character and appearance of the area.

- 6 No development shall start until a detailed design, maintenance and management strategy and timetable of implementation for a surface water drainage strategy has been submitted to and approved in writing by the Local Planning Authority. The submitted details must demonstrate the technical feasibility and viability of the proposed drainage system through the use of SuDS to manage the flood risk to the site and elsewhere and the measures taken to manage the water quality for the lifetime of the development. The scheme for the surface water drainage shall be implemented in accordance with the approved details and timetable and shall be fully operational before the development is first put in to use/occupied.

Reason: To ensure the development is provided with a satisfactory means of drainage and thereby reducing the risk of flooding. It is important that these details are agreed prior to the commencement of development as any works on site could have implications for drainage, flood risk and water quality in the locality.

## **12. Informatives**

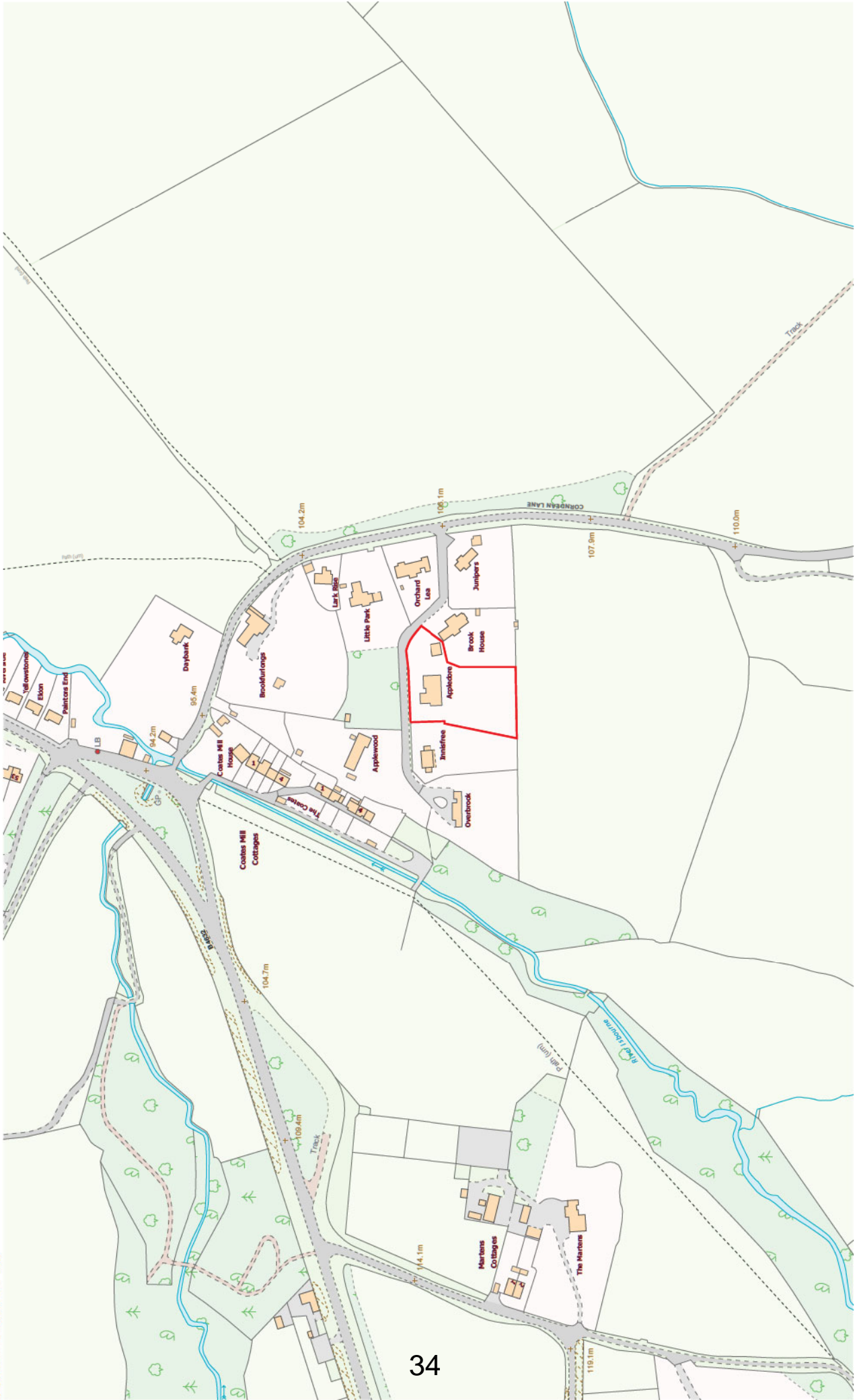
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- 1 In accordance with the requirements of the NPPF the Local Planning Authority has sought to determine the application in a positive and proactive manner by offering pre-application advice, publishing guidance to assist the applicant, and publishing the to the Council's website relevant information received during the consideration of the application thus enabling the applicant to be kept informed as to how the case was proceeding.



**1.1 SITE LOCATION PLAN**  
 PART 1: EXISTING CONTEXT  
 SCALE 1:1250 AT A3

**APPLEDORE**





633\_Appledore  
Existing Block Plan

Scale 1:500 @ A3    Drawg. No. 633\_DR\_501  
Date 30/06/23    Rev.   
Status  For Information     For tender     For construction

**HAWKES**  
A R C H I T E C T U R E

Noted: For detail:

HAWKES Architecture Limited, The Old Lane, Sleaford, Kent TN2 0JX. T 01843 862798 email [info@hawkesarchitecture.co.uk](mailto:info@hawkesarchitecture.co.uk)  
Do not scale. All dimensions to be confirmed on site. Information compiled by the team in the copyright of HAWKES Architecture Ltd, and is not to be reproduced without permission.

# 1.10 EXISTING ELEVATIONS (1 OF 2)

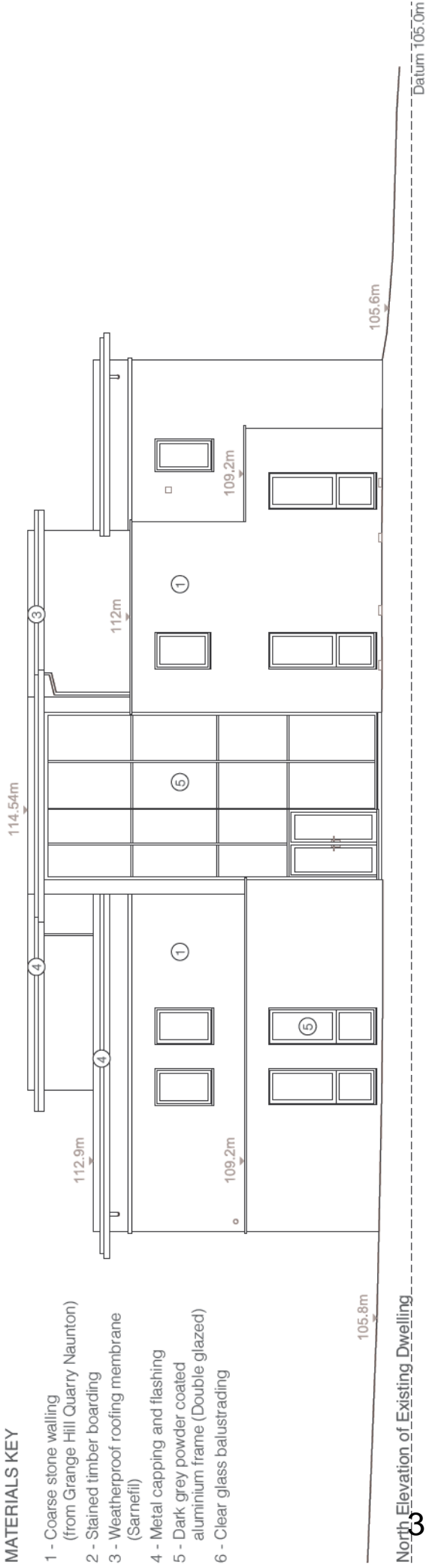
PART 1: EXISTING CONTEXT

SCALE 1:100 AT A3

# APPLEDORE

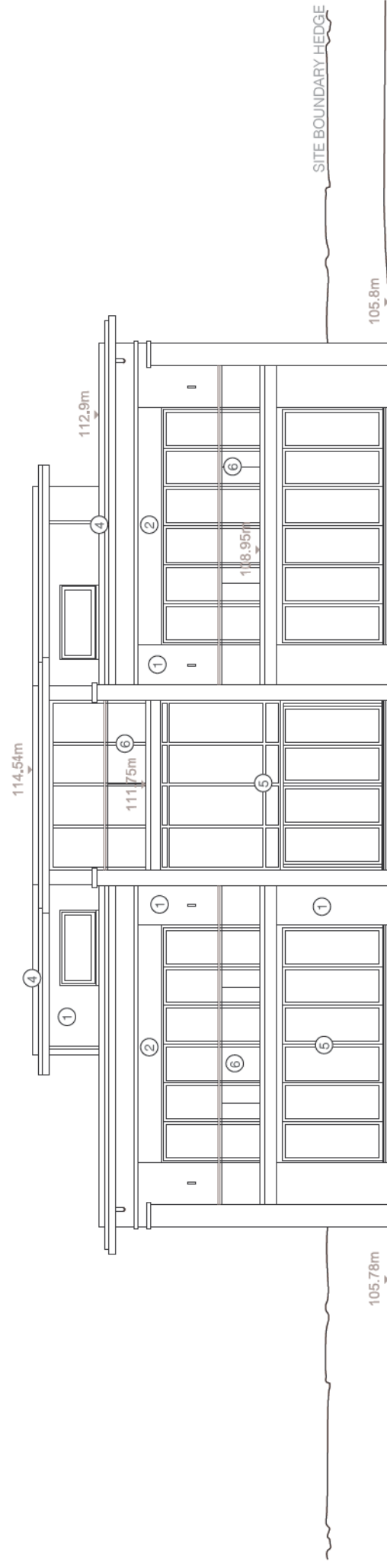
## MATERIALS KEY

- 1 - Coarse stone walling (from Grange Hill Quarry Naunton)
- 2 - Stained timber boarding
- 3 - Weatherproof roofing membrane (Sarnafil)
- 4 - Metal capping and flashing
- 5 - Dark grey powder coated aluminium frame (Double glazed)
- 6 - Clear glass balustrading



North Elevation of Existing Dwelling

36



South Elevation of Existing Dwelling



DAVIESLANDSCAPE  
ARCHITECTS

HAWKES  
architecture

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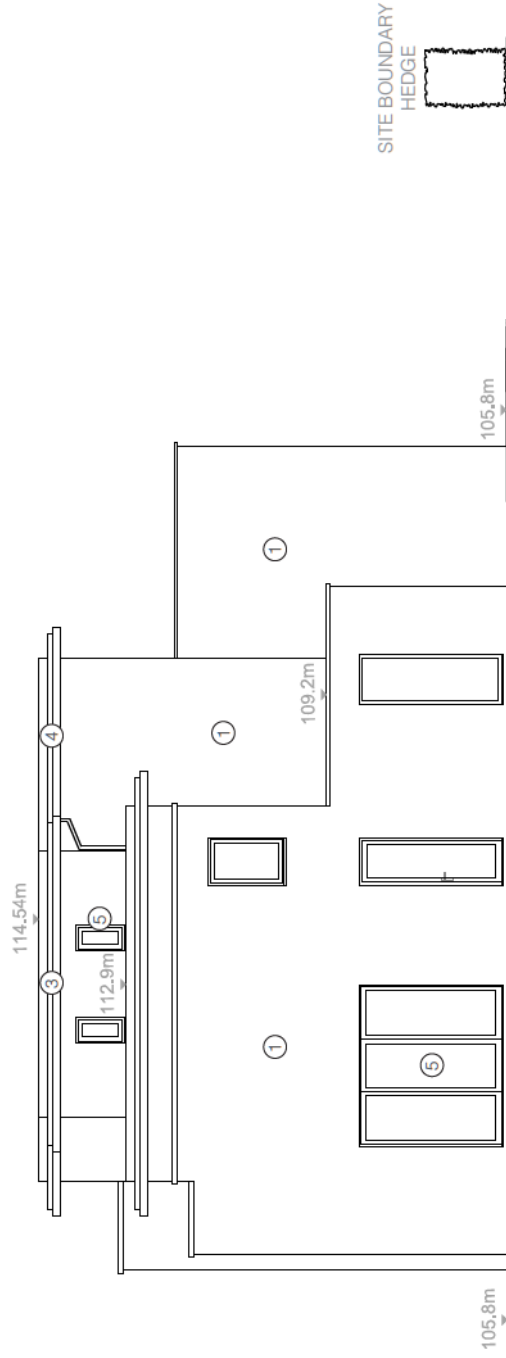
# 1.11 EXISTING ELEVATIONS (2 OF 2)

PART 1: EXISTING CONTEXT

SCALE 1:100 AT A3

## MATERIALS KEY

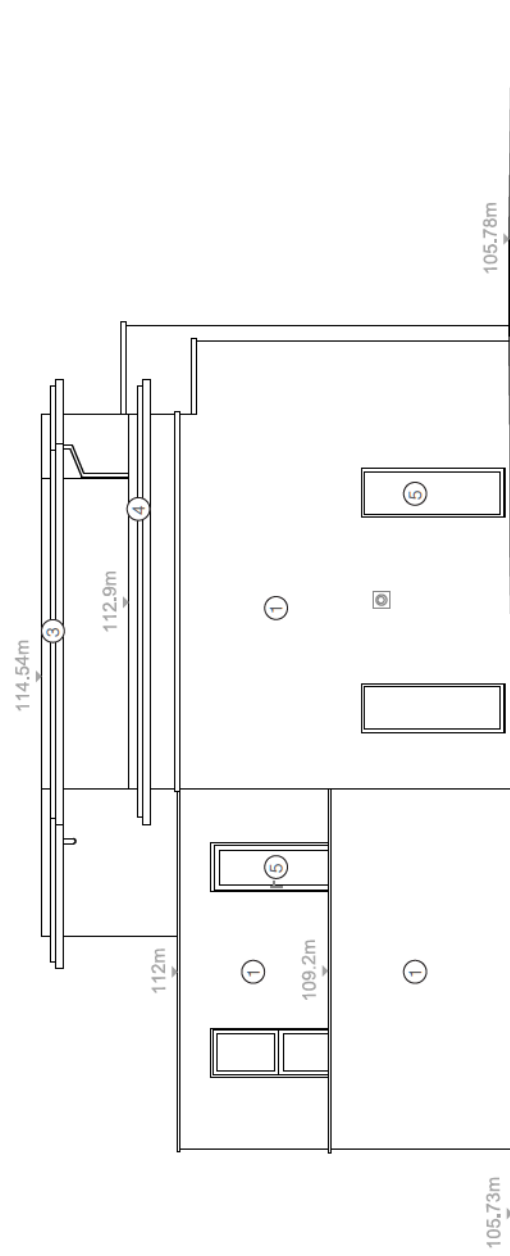
- 1 - Coarse stone walling (from Grange Hill Quarry Naunton)
- 2 - Stained timber boarding
- 3 - Weatherproof roofing membrane (Sarnafil)
- 4 - Metal capping and flashing
- 5 - Dark grey powder coated aluminium frame (Double glazed)
- 6 - Clear glass balustrading



East Elevation of Existing Dwelling

37

Datum 105.0m



West Elevation of Existing Dwelling

Datum 105.0m



**1.6 EXISTING GROUND FLOOR PLAN**  
 PART 1: EXISTING CONTEXT  
 SCALE 1:100 AT A3

**APPLEDORE**



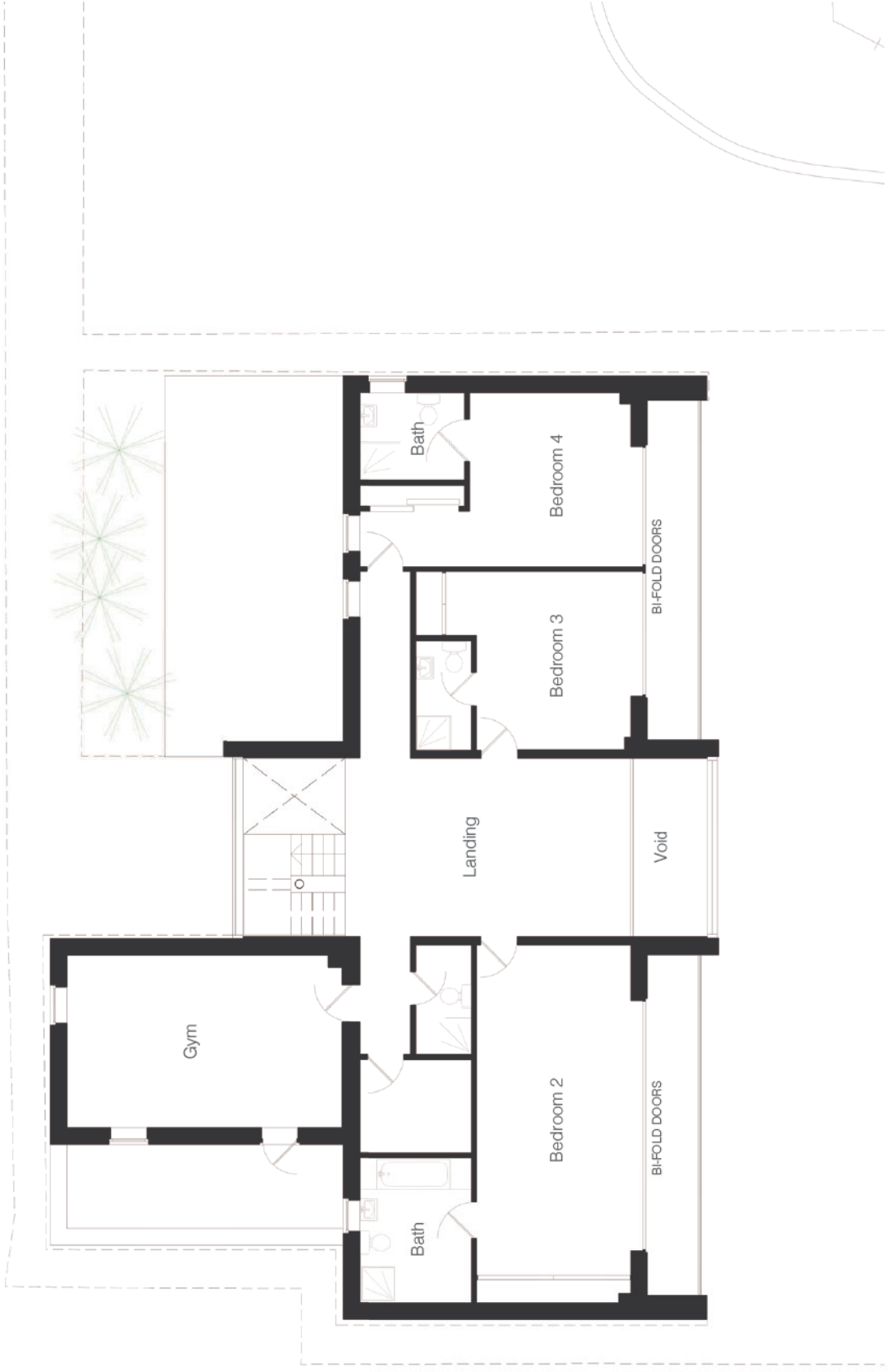
Existing Walls



**DAVIESLANDSCAPE**  
 ARCHITECTS

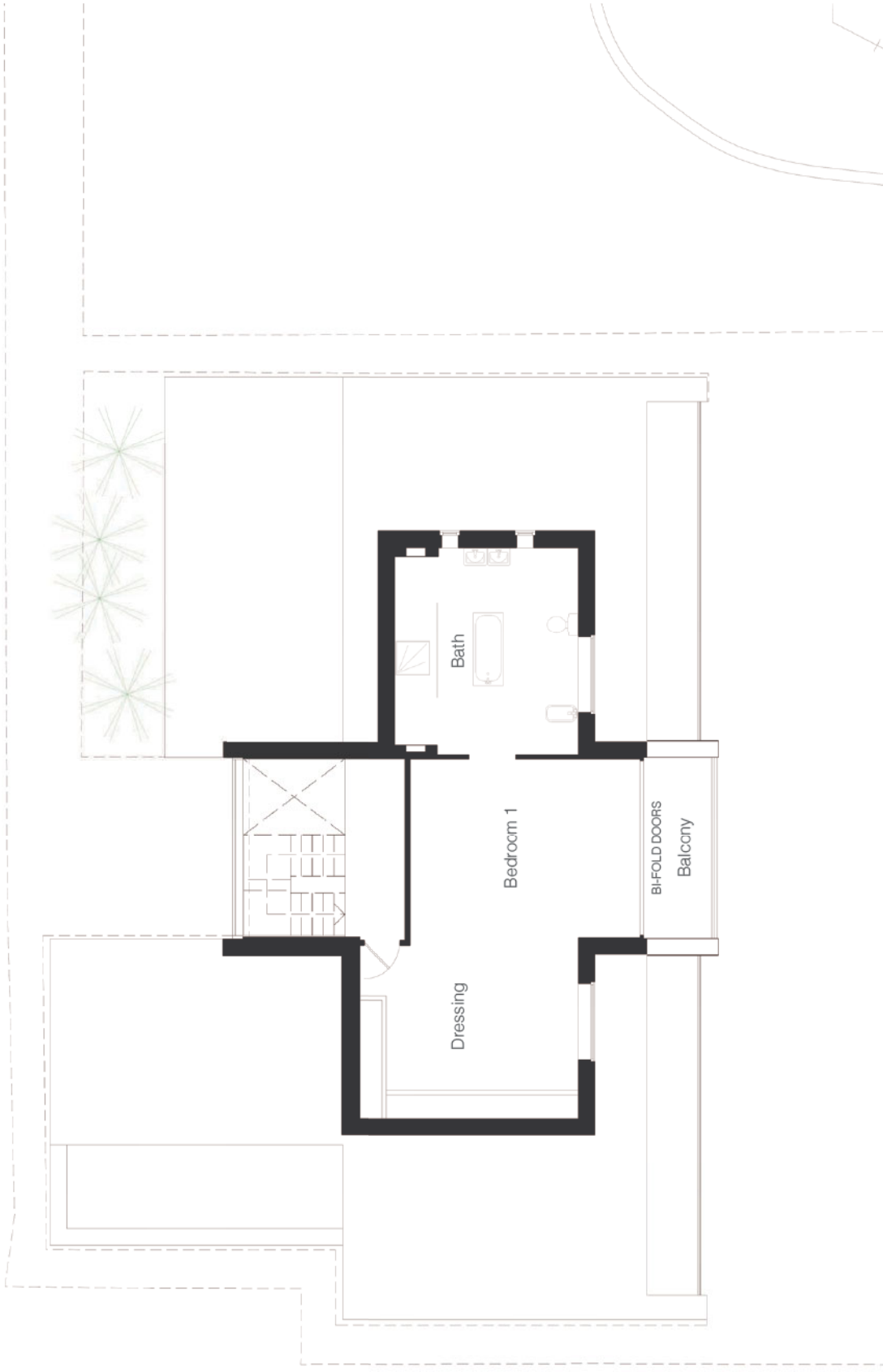
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1.7 EXISTING FIRST FLOOR PLAN  
PART 1: EXISTING CONTEXT  
SCALE 1:100 AT A3



**1.8 EXISTING SECOND FLOOR PLAN**  
PART 1: EXISTING CONTEXT  
SCALE 1:100 AT A3

**APPLEDORE**



Existing Walls



**DAVIESLANDSCAPE**  
ARCHITECTS

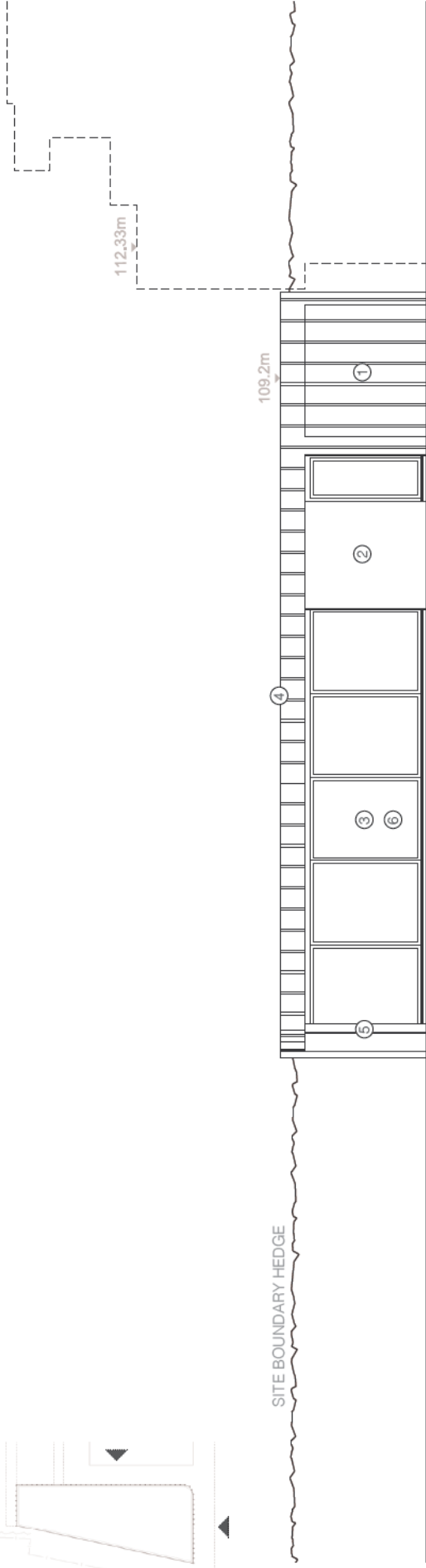
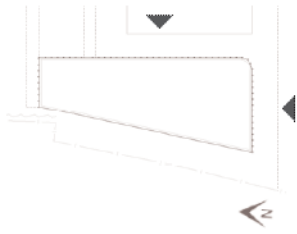
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### 3.14 PROPOSED POOLHOUSE ELEVATIONS (1 OF 2)

PART 3: BUILDING PROPOSAL

SCALE 1:100 AT A3

# APPLEDORE

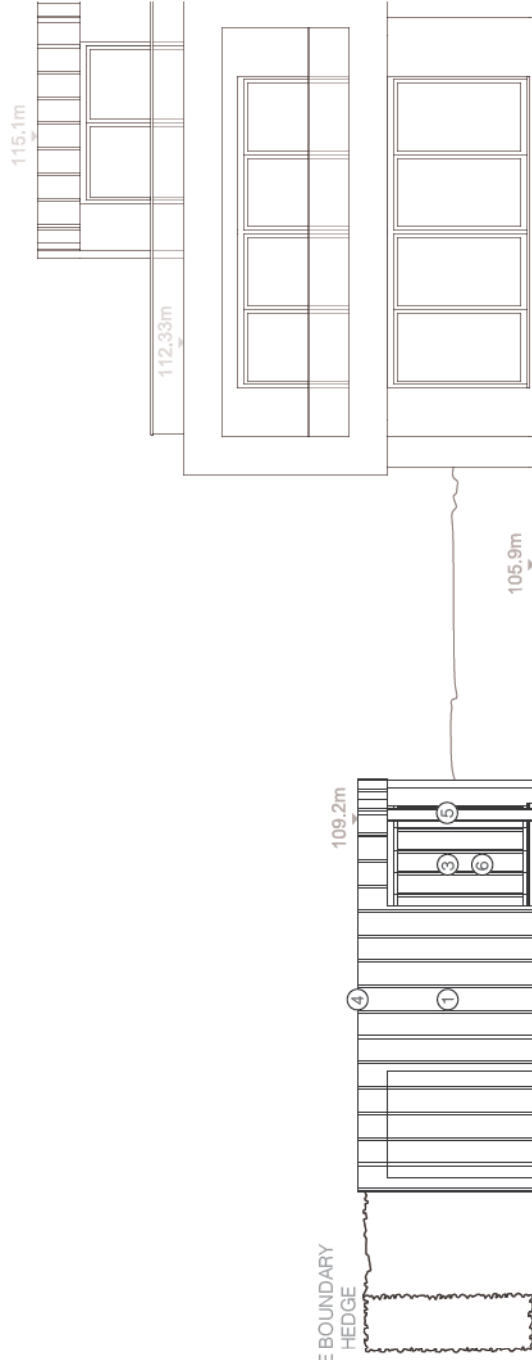


East Elevation

41

#### MATERIALS KEY

- 1 - Chestnut vertical timber cladding
- 2 - Thermally treated timber
- 3 - Dark grey powder coated aluminium frame (Double glazed)
- 4 - Sedum Roof
- 5 - Column
- 6 - Sliding / Bi-fold doors



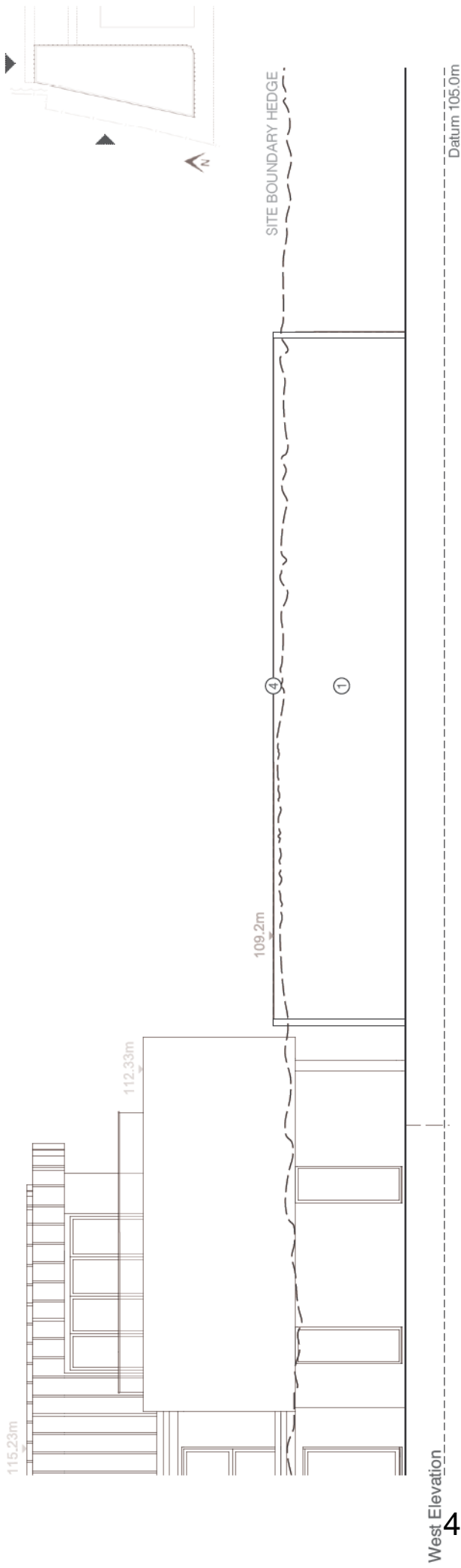
South Elevation





**3.15 PROPOSED POOLHOUSE ELEVATIONS (2 OF 2)**  
 PART 3: BUILDING PROPOSAL  
 SCALE 1:100 AT A3

**APPLEDORE**



42

**MATERIALS KEY**

- 1 - Chestnut vertical timber cladding
- 2 - Thermally treated timber
- 3 - Dark grey powder coated aluminium frame (Double glazed)
- 4 - Sedum Roof
- 5 - Column
- 6 - Sliding / Bi-fold doors



**DAVIESLANDSCAPE**  
 ARCHITECTS



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**9 PROPOSED MASTERPLAN**

9.4.1 Following on from the initial conceptual designs, the proposals for the main building refurbishment were refined by Hawkes Architecture to provide a balance with the gardens, thus creating legible sub-division.

9.4.2 Curvature has been added to the lawn; and a kitchen garden introduced closer to the house, thus reinforcing the distinction between domestic curtilage and wild garden. This in turn will provide an attractive, biodiversity-rich transition to the countryside backdrop.

Establish a semi-natural arboretum to provide shade, reduce the perceived scale of the main dwelling and increase biodiversity

Allow longer meadow grassland to develop along the western boundary where morning sun will warm the part of the garden



Figure 22 - Illustrative Masterplan



APPLEDORE

## PLANNING DRAWINGS AMENDMENTS

APPLEDORE  
CORNDEAN LANE  
WINCHCOMBE  
4  
CHELTENHAM  
GL54 5NL

633\_DO\_PL\_DESIGN AMENDMENT\_01

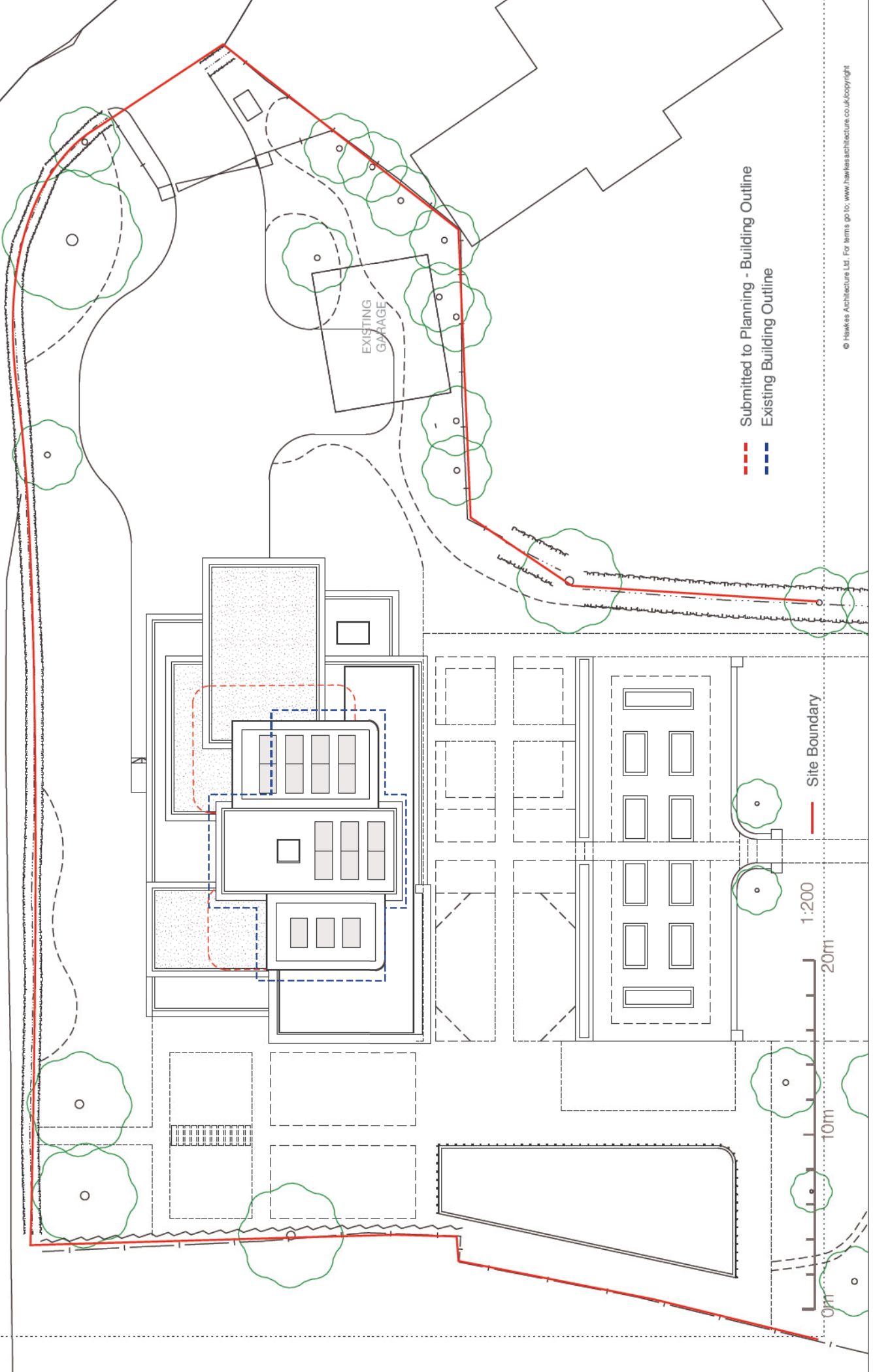
JANUARY 2023

3.1.1 PROPOSED SITE PLAN\_REVA

PART 3: BUILDING PROPOSAL

SCALE 1:200 AT A3

CORNDEAN LANE



- - - Submitted to Planning - Building Outline  
- - - Existing Building Outline

Site Boundary

1:200

20m

10m

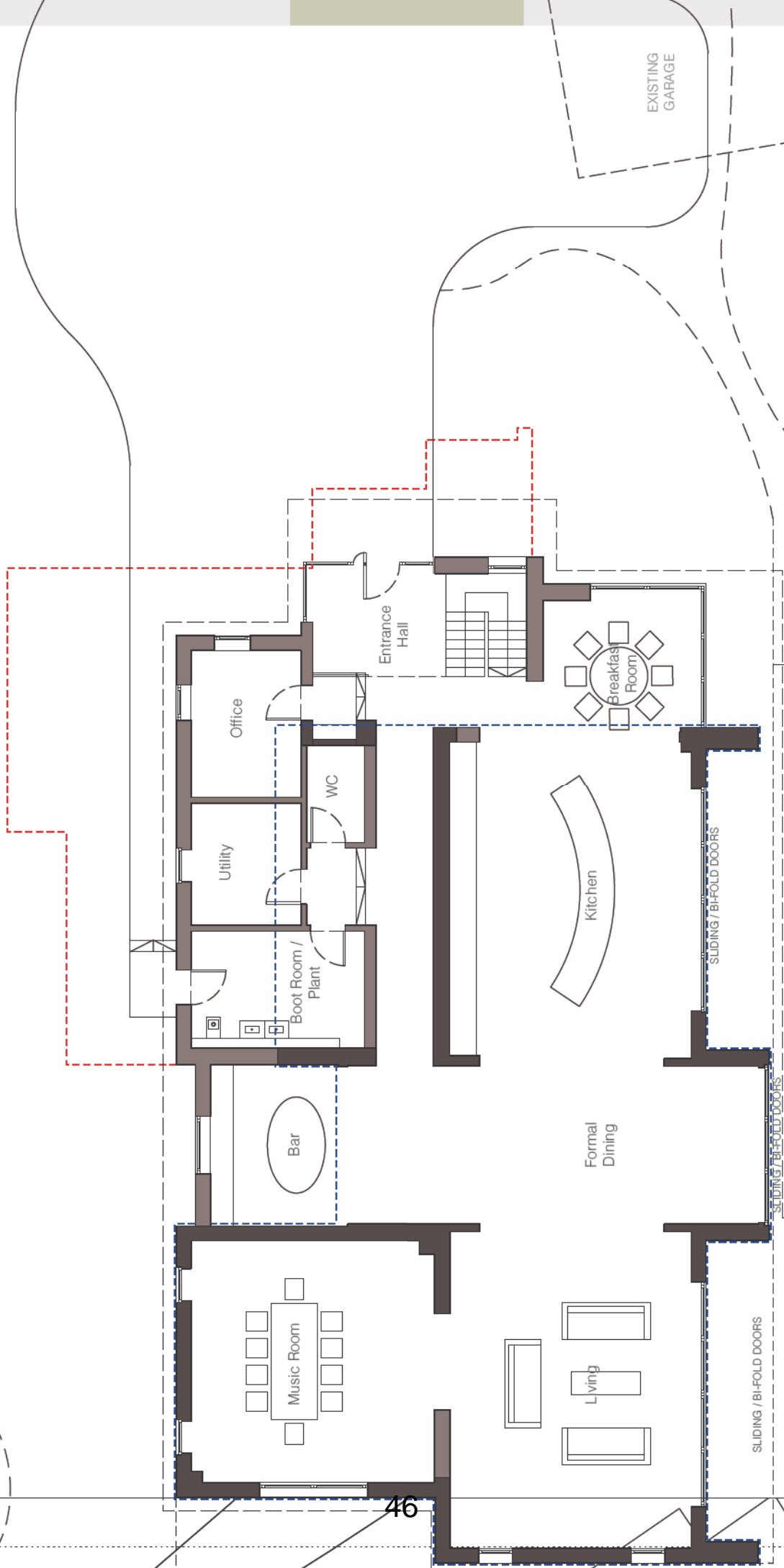
0m



3.3.1 PROPOSED GROUND FLOOR PLAN - REV.A

PART 3: BUILDING PROPOSAL

SCALE 1:100 AT A3



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architecture

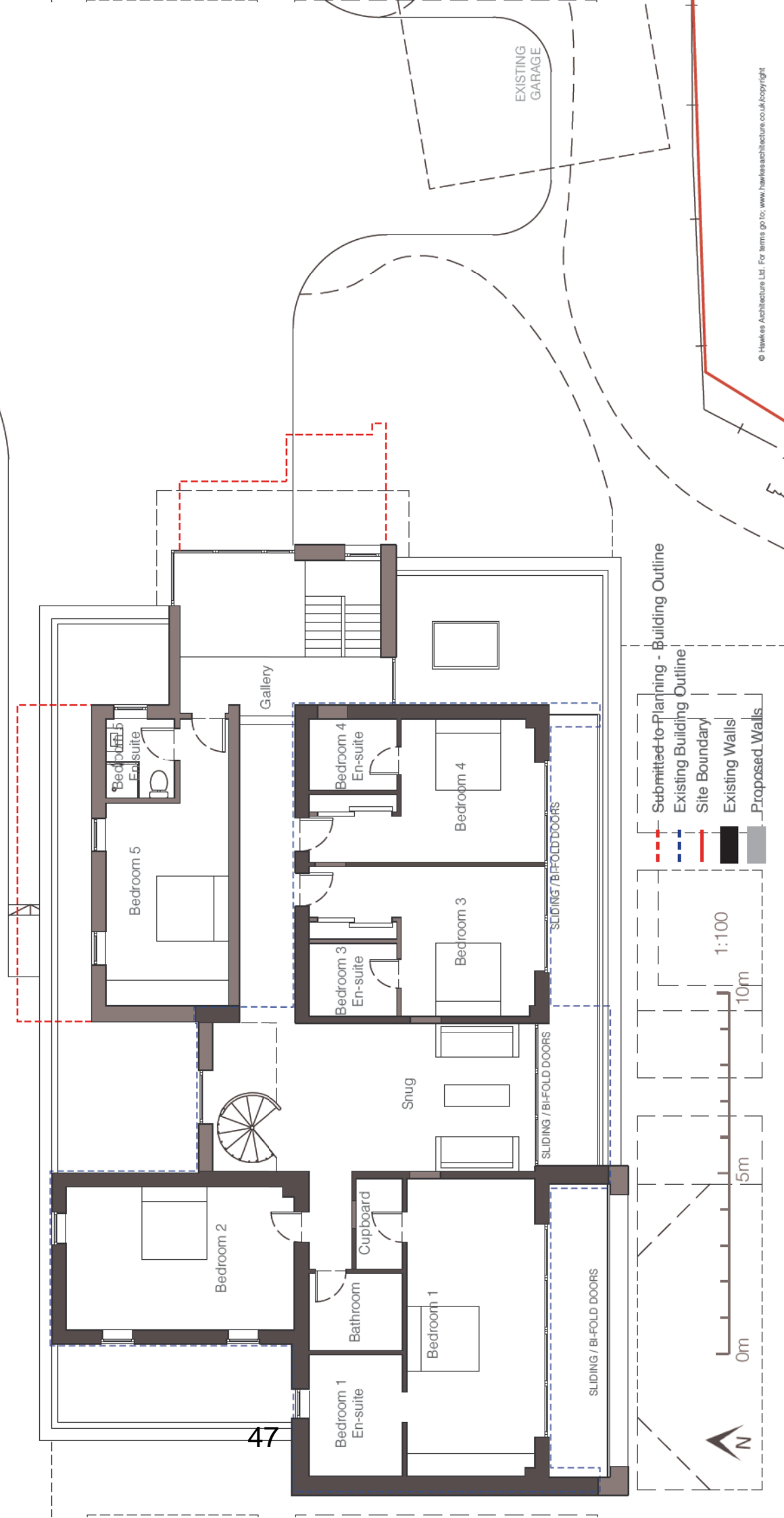
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3.4.1 PROPOSED FIRST FLOOR PLAN - REV.A

PART 3: BUILDING PROPOSAL

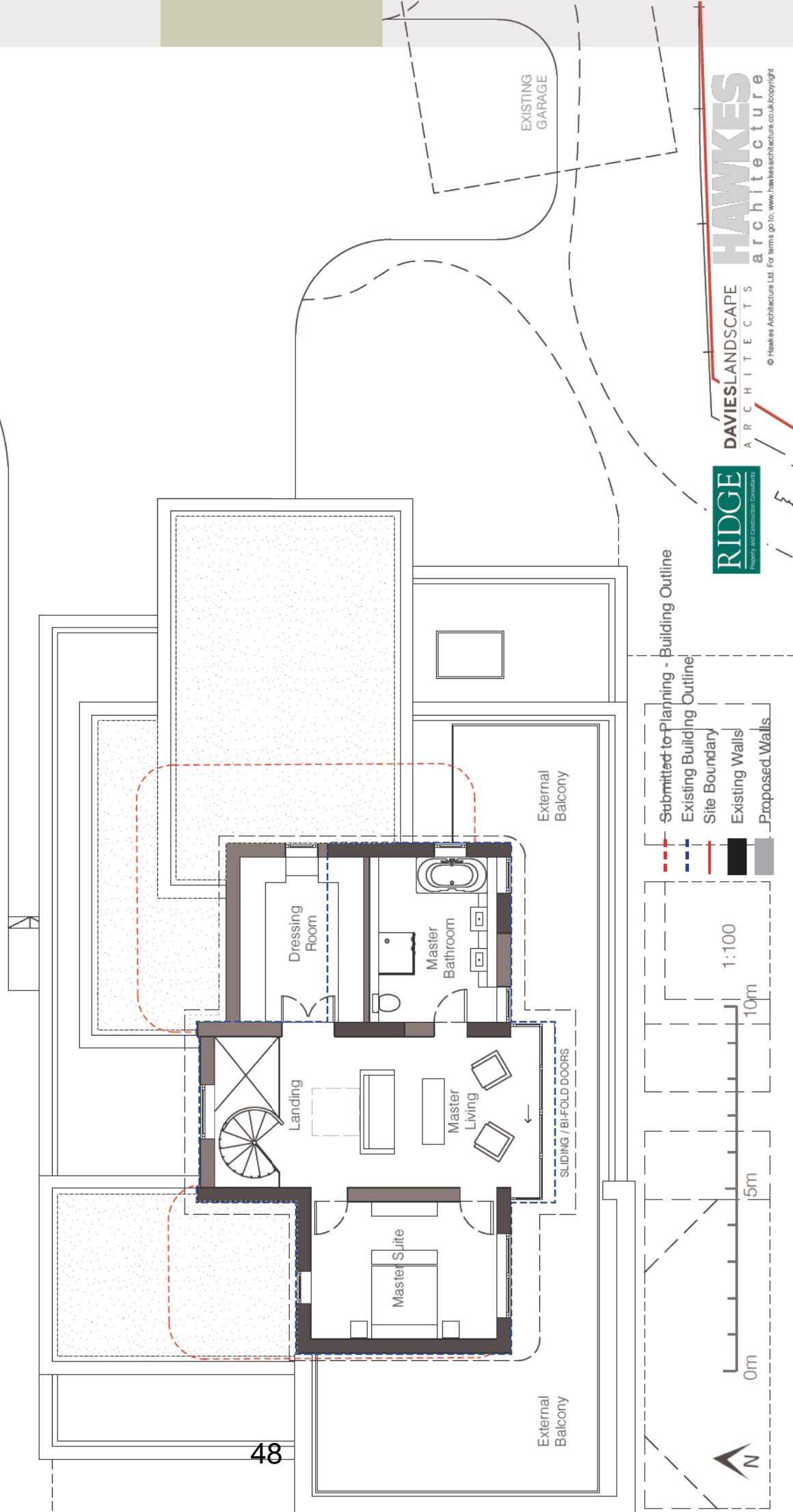
SCALE 1:100 AT A3



3.5.1 PROPOSED SECOND FLOOR PLAN\_REVA

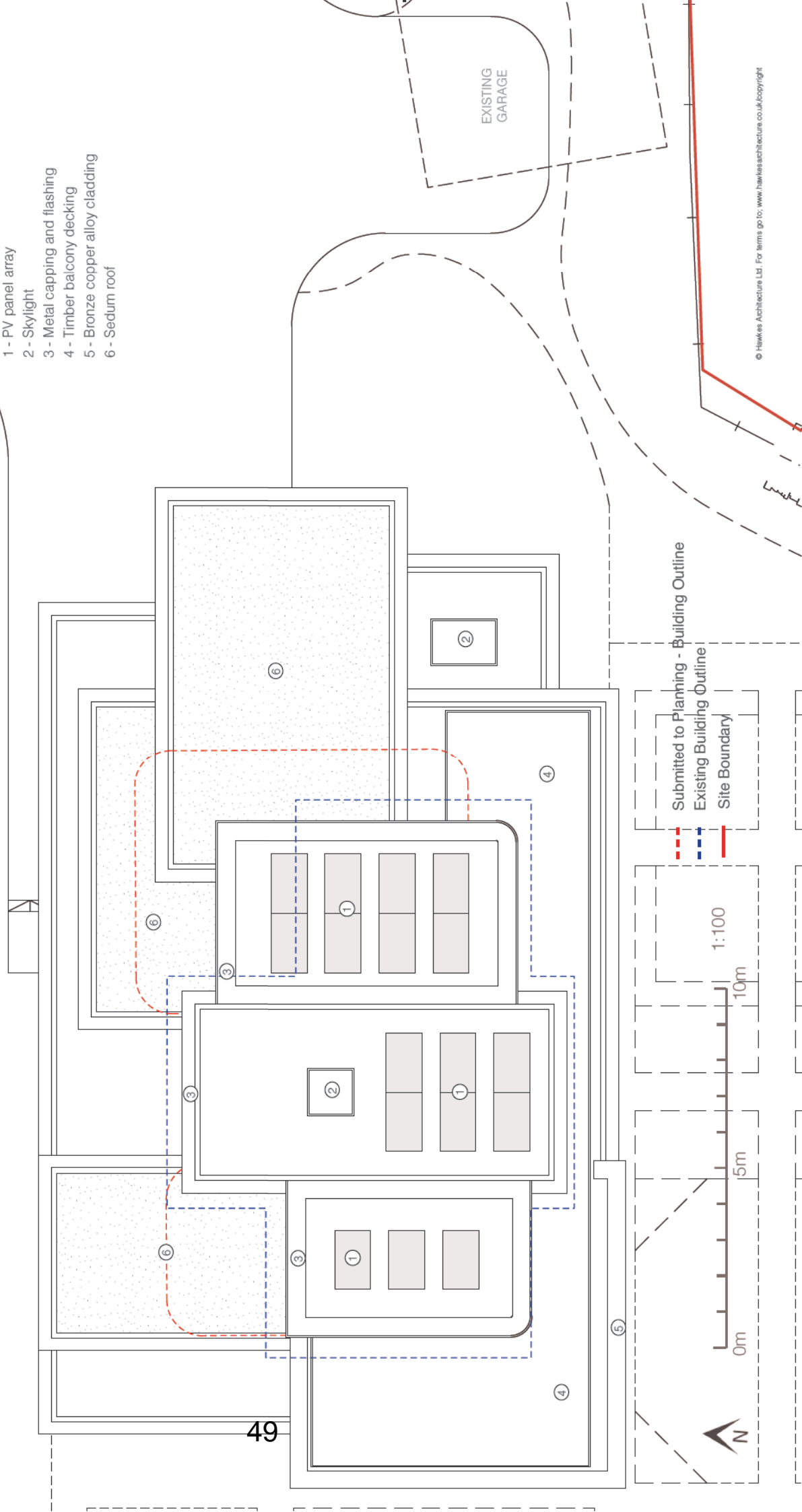
PART 3: BUILDING PROPOSAL

SCALE 1:100 AT A3



MATERIALS KEY

- 1 - PV panel array
- 2 - Skylight
- 3 - Metal capping and flashing
- 4 - Timber capping and balcony decking
- 5 - Bronze copper alloy cladding
- 6 - Sedum roof





### 3.7.1 PROPOSED ELEVATIONS - EAST - ARRIVAL\_REVA

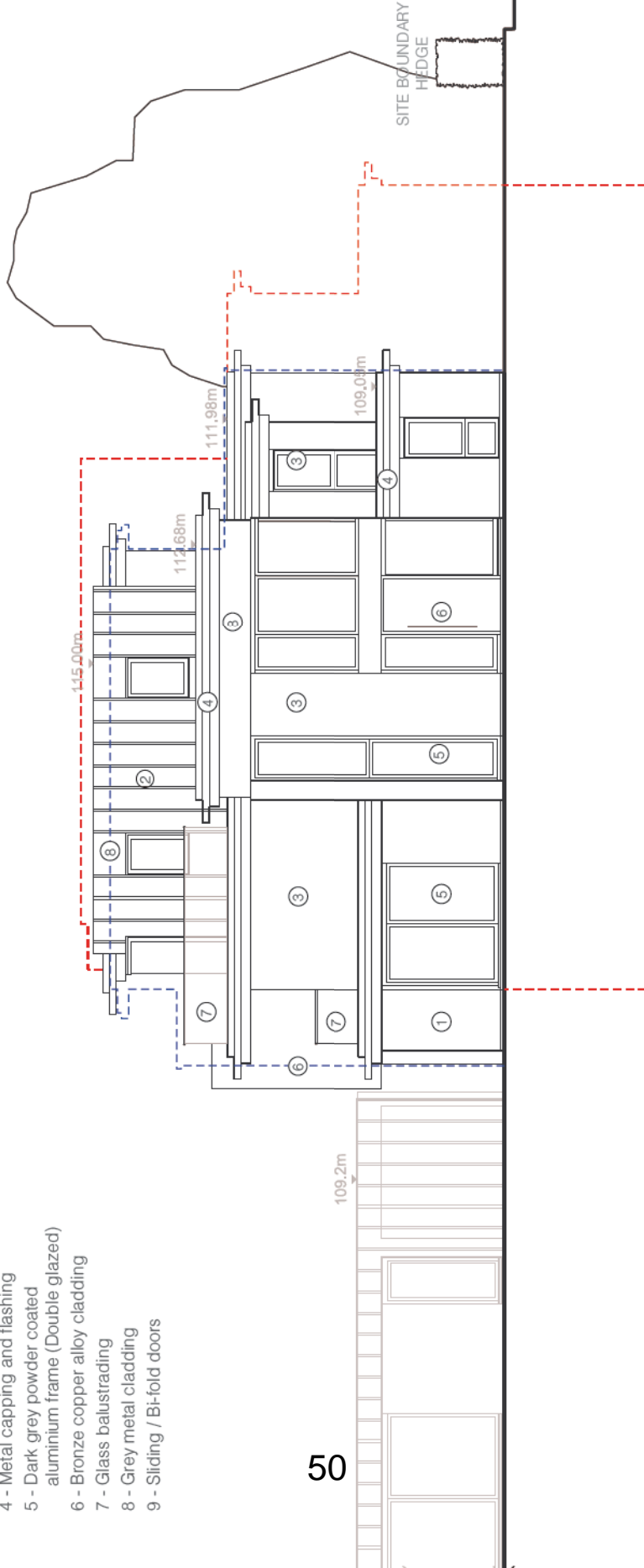
PART 3: BUILDING PROPOSAL

SCALE 1:100 AT A3

APPLEDORE

#### MATERIALS KEY

- 1 - Coarse stone walling  
(from Grange Hill Quarry Naunton)
- 2 - Chestnut vertical timber cladding
- 3 - Thermally treated timber
- 4 - Metal capping and flashing
- 5 - Dark grey powder coated  
aluminium frame (Double glazed)
- 6 - Bronze copper alloy cladding
- 7 - Glass balustrading
- 8 - Grey metal cladding
- 9 - Sliding / Bi-fold doors



- Existing Building Outline
- Submitted to Planning - Building Outline



### 3.8.1 PROPOSED ELEVATIONS - SOUTH\_REV.A

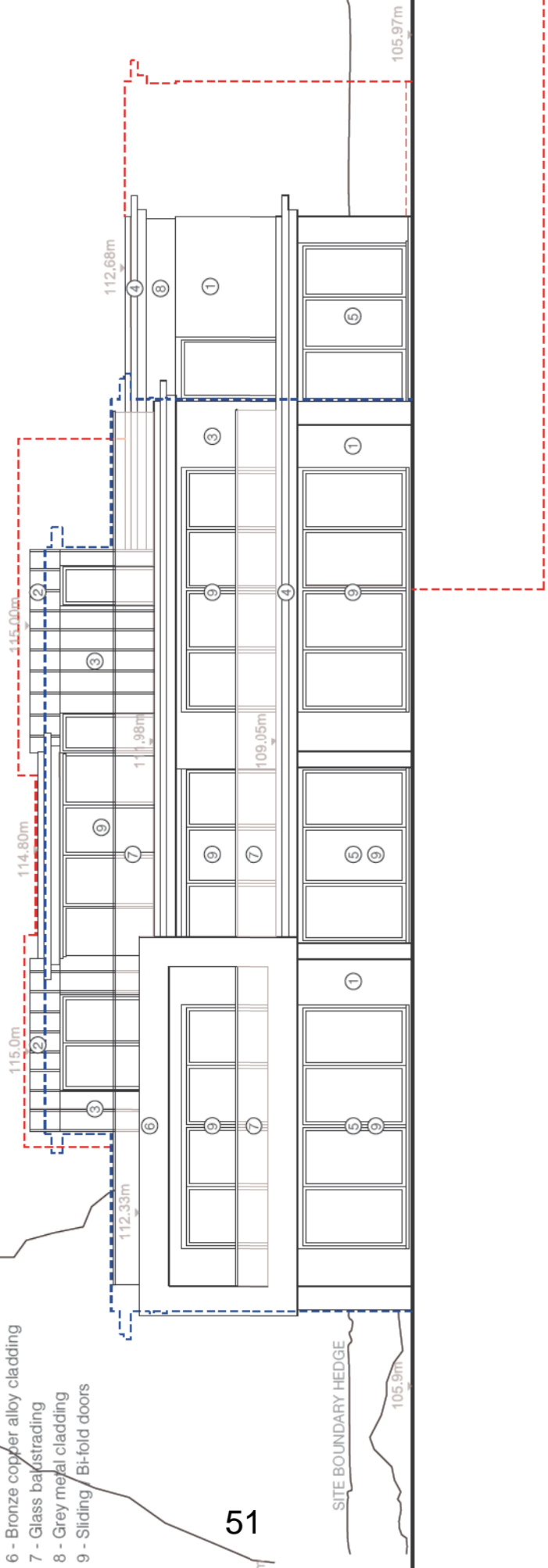
PART 3: BUILDING PROPOSAL

SCALE 1:100 AT A3

APPLEDORE

#### MATERIALS KEY

- 1 - Coarse stone walling (from Grange Hill Quarry Naunton)
- 2 - Chestnut vertical timber cladding
- 3 - Thermally treated timber
- 4 - Metal capping and flashing
- 5 - Dark grey powder coated aluminium frame (Double glazed)
- 6 - Bronze copper alloy cladding
- 7 - Glass balustrading
- 8 - Grey metal cladding
- 9 - Sliding Bi-fold doors



- Existing Building Outline
- Submitted to Planning - Building Outline

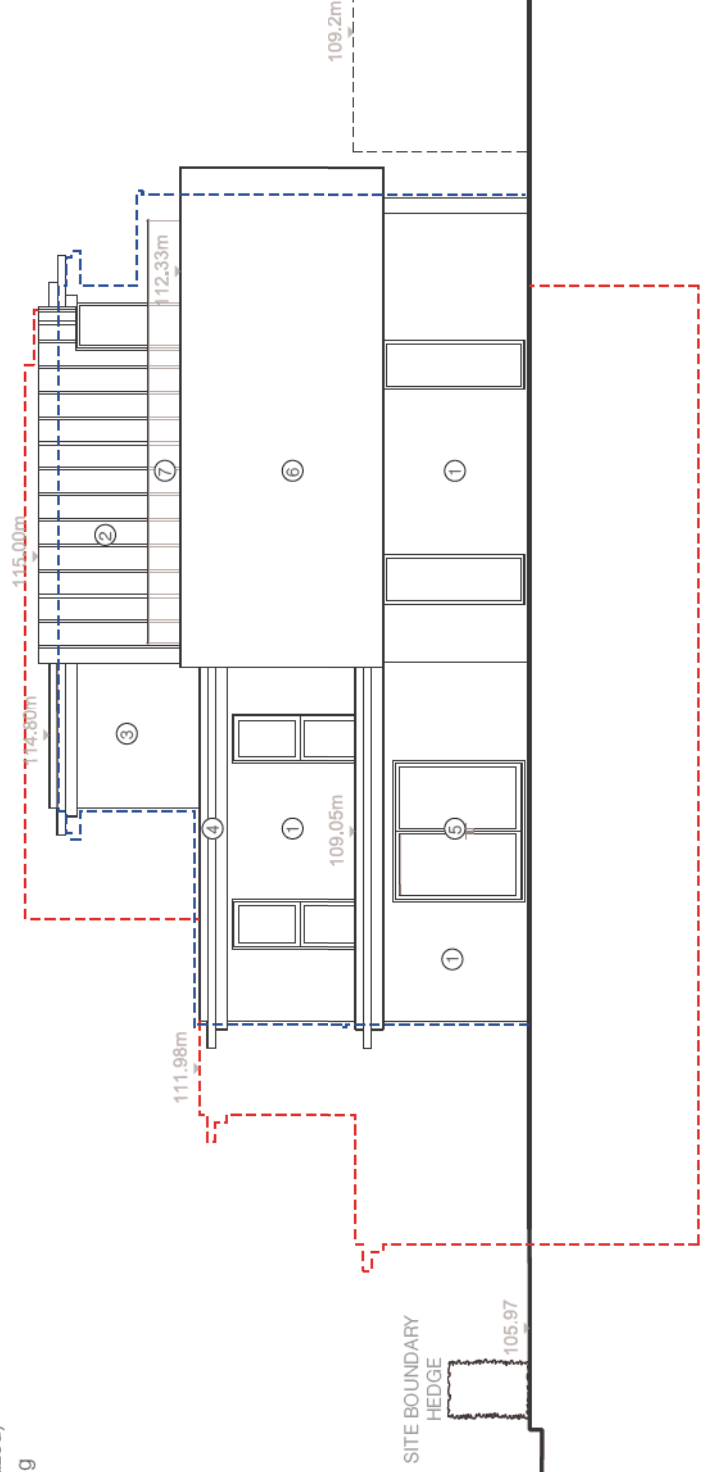


**3.9.1 PROPOSED ELEVATIONS - WEST\_REV.A**  
 PART 3: BUILDING PROPOSAL  
 SCALE 1:100 AT A3

APPLEDORE

**MATERIALS KEY**

- 1 - Coarse stone walling  
(from Grange Hill Quarry Naunton)
- 2 - Chestnut vertical timber cladding
- 3 - Thermally treated timber
- 4 - Metal capping and flashing
- 5 - Dark grey powder coated aluminium frame (Double glazed)
- 6 - Bronze copper alloy cladding
- 7 - Glass balustrading
- 8 - Grey metal cladding
- 9 - Sliding / Bi-fold doors



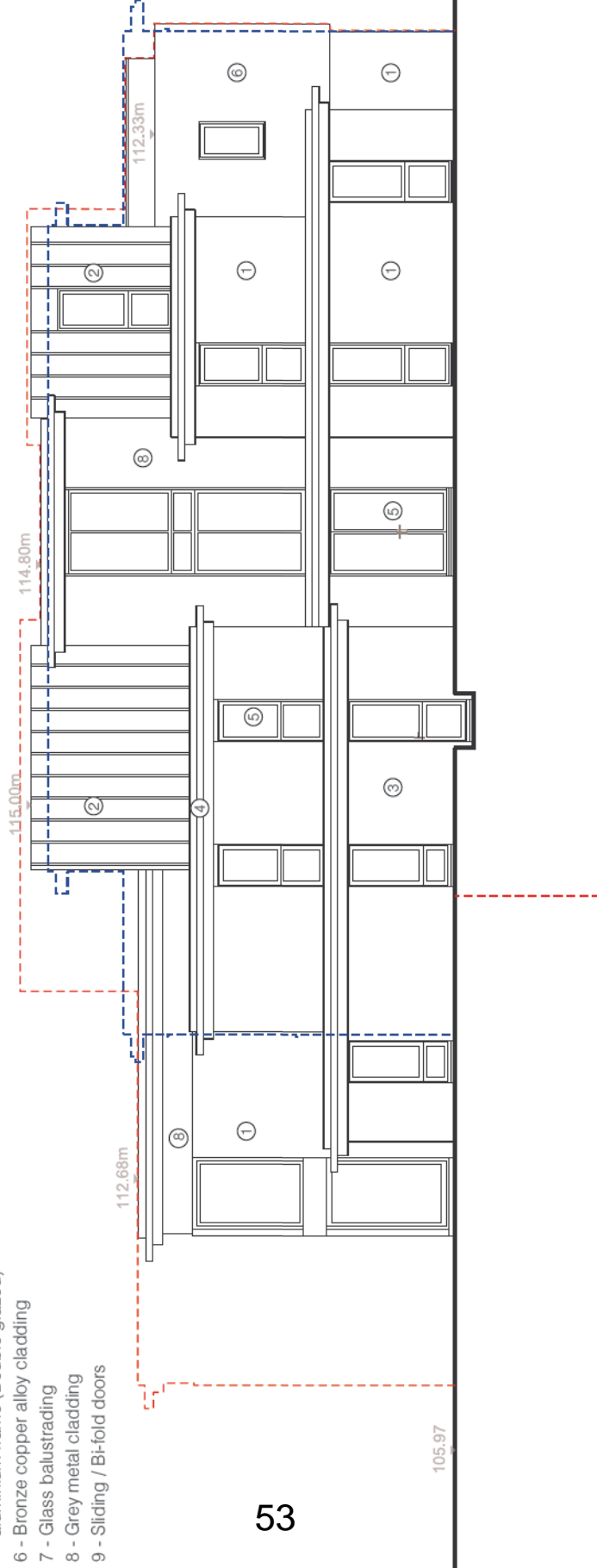
- Existing Building Outline
- Submitted to Planning - Building Outline



**3.10.1 PROPOSED ELEVATIONS - NORTH\_REV.A**  
 PART 3: BUILDING PROPOSAL  
 SCALE 1:100 AT A3

**MATERIALS KEY**

- 1 - Coarse stone walling  
(from Grange Hill Quarry Naunton)
- 2 - Chestnut vertical timber cladding
- 3 - Thermally treated timber
- 4 - Metal capping and flashing
- 5 - Dark grey powder coated  
aluminium frame (Double glazed)
- 6 - Bronze copper alloy cladding
- 7 - Glass balustrading
- 8 - Grey metal cladding
- 9 - Sliding / Bi-fold doors



- Existing Building Outline
- Submitted to Planning - Building Outline





633\_Appledore  
Proposed Block Plan

Scale 1:500 @ A3    Drawg. No. 633\_DR\_601  
Date 30/06/23    Rev.   
Status  For Information     For tender     For construction

**HAWKES**  
A R C H I T E C T U R E

Notes:

HAWKES ARCHITECTURE LLP, The Old Lane, Saffron Walden, Essex, UK. Tel: 01509 882758. Email: [info@hawkesarchitecture.co.uk](mailto:info@hawkesarchitecture.co.uk)  
Do not make any alterations to this drawing without the written consent of Hawkes Architecture LLP, and it is to be reproduced without permission.

CORNDEAN LANE

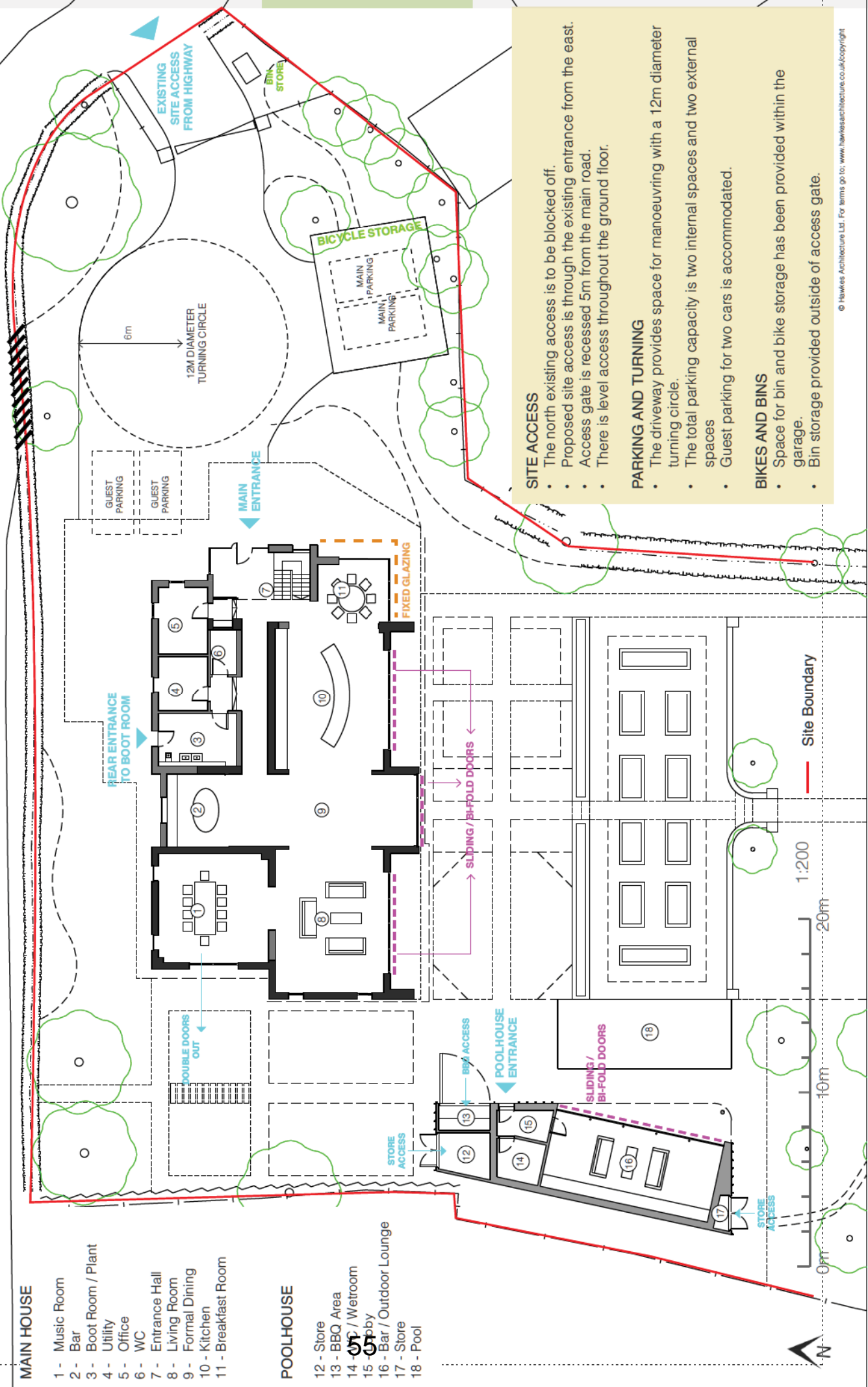
EXISTING ACCESS BLOCKED  
HEDGEROW EXTENDED

### MAIN HOUSE

- 1 - Music Room
- 2 - Bar
- 3 - Boot Room / Plant
- 4 - Utility
- 5 - Office
- 6 - WC
- 7 - Entrance Hall
- 8 - Living Room
- 9 - Formal Dining
- 10 - Kitchen
- 11 - Breakfast Room

### POOLHOUSE

- 12 - Store
- 13 - BBQ Area
- 14 - Office / Wetroom
- 15 - Lobby
- 16 - Bar / Outdoor Lounge
- 17 - Store
- 18 - Pool



### SITE ACCESS

- The north existing access is to be blocked off.
- Proposed site access is through the existing entrance from the east.
- Access gate is recessed 5m from the main road.
- There is level access throughout the ground floor.

### PARKING AND TURNING

- The driveway provides space for manoeuvring with a 12m diameter turning circle.
- The total parking capacity is two internal spaces and two external spaces
- Guest parking for two cars is accommodated.

### BIKES AND BINS

- Space for bin and bike storage has been provided within the garage.
- Bin storage provided outside of access gate.

1:200

20m

10m

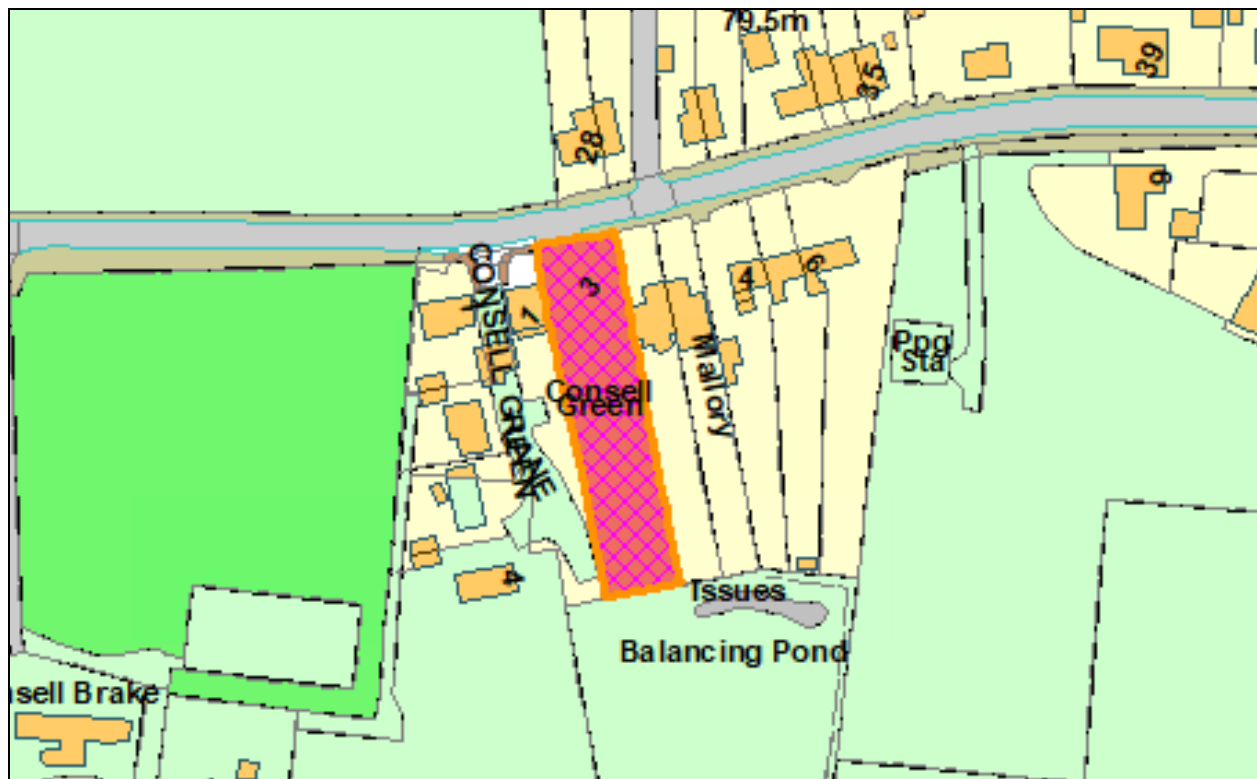
0m

Site Boundary

## Planning Committee

<b>Date</b>	18 July 2023
<b>Case Officer</b>	Jonny Martin
<b>Application No.</b>	22/01317/FUL
<b>Site Location</b>	3 Consell Green, Tewkesbury Road, Toddington.
<b>Proposal</b>	Construction of two dwellings
<b>Ward</b>	Isbourne
<b>Parish</b>	Toddington
<b>Appendices</b>	Site Location Plan received by the LPA on 5th December 2023 Site Layout Plan 1742/1/C Plot 1 Plans and Elevations 1742/2/B Plot 2 Plans and Elevations 1742/3 Plot 2 Garage 1742/4 Plot 1/No.3 Garage 1742/5
<b>Reason for Referral to Committee</b>	Cllr Gore has called the application to assess the impact on highways and on neighbouring properties.
<b>Recommendation</b>	Delegated Permit

### Site Location



## 1. The Proposal

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Full application details are available to view online at:

<http://publicaccess.tewkesbury.gov.uk/online-applications/applicationDetails.do?activeTab=summary&keyVal=R0B0F1QDHAH00>

- 1.1 Planning permission is sought for the erection of two new dwellings to the rear of 3 Consell Green with associated garages. The existing garage and greenhouse will be demolished to allow for access to the new dwellings.
- 1.2 Plot 1 would consist of a 1.5 storey detached dwelling with rooms in the roof space alongside 2no garages for use by the new dwelling and the occupants of 3 Consell Green. Plot 2 would consist of a two storey detached dwelling with a detached single garage. Both properties would have front and rear gardens and the dwellings would be accessed via a gravel surfaced private drive.
- 1.3 The proposed dwellings would have a contemporary appearance and the proposed materials would comprise a mix of render and timber boarding on the walls with natural slate roofs. The windows would be aluminium and the doors would be timber. It should be noted that samples of materials would be requested via a condition.

### Amendments

- 1.4 Since the application was submitted, the following amendments have been made to the scheme:
  - The roof profile of plot 1 has been amended to have a pitched roof following comments from the planning officer.
  - An updated Site Plan has been provided detailing site levels and updated indicative boundary treatment following comments from the Landscape Officer.
  - Drainage documentation has been provided following comments from the Council's Drainage Officer.

## 2. Site Description

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- 2.1 The application site comprises of an existing dwelling known as 3 Consell Green which fronts onto Tewkesbury Road. The existing dwelling is two storey in height and has a detached single storey garage. The property has a large rear garden which has been split into two sections within garden 1 being surrounded by a high hedge with a small gap that leads out to garden 2 which is more open and is bound with wire fencing.
- 2.2 Access to the site is currently achieved via either of two simple dropped kerb crossovers which are separated by a low brick boundary wall. The Tewksbury Road is a classified highway.
- 2.3 The site is located within the settlement boundary of New Town/Toddington. The application site is within a Special Landscape Area but is not located within the AONB.



### 3. Relevant Planning History

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Application Number	Proposal	Decision	Decision Date
49/00046/FUL	Proposed addition to form bathroom.	PER	21.10.1949
50/00161/FUL	Proposed access and sire for garage.	PER	19.04.1950
72/00127/FUL	Erection of a double garage.	PER	16.02.1972
72/00129/FUL	Erection of a double garage.	PER	21.06.1972
75/00073/FUL	Extension to house to provide a kitchen and enlarged lounge with a bathroom over. New vehicular access.	PER	29.08.1975

### 4. Consultation Responses

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Full copies of all the consultation responses are available online at <https://publicaccess.tewkesbury.gov.uk/online-applications/>.

- 4.1 **Toddington Parish Council** – A letter was sent to the Parish Council on 30<sup>th</sup> January 2023 but no comments have been received.
- 4.2 **Building Control Officer** – no objection.
- 4.3 **County Highways Officer** – no objection subject to conditions.
- 4.4 **Environmental Health Officer** – no objection.
- 4.5 **Landscape Officer** – No objections subject to conditions on landscaping and boundary treatment.
- 4.6 **Flood Risk & Management Officer** – no objection subject to compliance conditions.
- 4.7 **Severn Trent** - no objections

### 5. Third Party Comments/Observations

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Full copies of all the representation responses are available online at <https://publicaccess.tewkesbury.gov.uk/online-applications/>.

**5.1** The application has been publicised through the posting of neighbour notification letters and a site notice for a period of 21 days and 6 letters of representation have been received objecting as follows:

- The density, layout and design is not reflective of peripheral developments
- Increased traffic and highway safety concerns
- Impact the setting of the Landscape Area
- The speed survey data is selective
- Loss of light to neighbouring gardens
- Impact on neighbouring amenity
- Risk of flooding

## **6. Relevant Planning Policies and Considerations**

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### **6.1 Statutory Duty**

Planning law requires that applications for planning permission must be determined in accordance with the Development Plan unless material considerations indicate otherwise

The following planning guidance and policies are relevant to the consideration of this application:

### **6.2 National guidance**

National Planning Policy Framework (NPPF) and the National Planning Practice Guidance (NPPG)

### **6.3 Gloucester, Cheltenham and Tewkesbury Joint Core Strategy (JCS) – Adopted 11 December 2017**

- Policy SP1 (The Need for New Development)
- Policy SP2 (The Distribution of New Development)
- Policy SD4 (Design Requirements)
- Policy SD6 (Landscape)
- Policy SD9 (Biodiversity and Geodiversity)
- Policy SD10 (Residential Development)
- Policy SD11 (Housing Mix and Standards)
- Policy SD14 (Health and Environmental Quality)
- Policy INF1 (Transport Network)
- Policy INF2 (Flood Risk Management)
- Policy INF3 (Green Infrastructure)

### **6.4 Tewkesbury Borough Local Plan to 2011-2031 (TBLP) – Adopted 8 June 2022**

- Policy RES 2 (Settlement Boundaries)
- Policy RES5 (New Housing Development)
- Policy RES13 (Housing Mix)
- Policy LAN1 (Special Landscape Areas)
- Policy LAN2 (Landscape Character)
- Policy NAT1 (Biodiversity, Geodiversity and Important Natural Features)
- Policy ENV2 (Flood Risk and Water Management)
- Policy TRAC9 (Parking Provision)
- Policy DES1 (Housing Space Standards)

## **6.5** Neighbourhood Plan

None

## **7. Policy Context**

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- 7.1** Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that proposals be determined in accordance with the Development Plan unless material considerations indicate otherwise. Section 70 (2) of the Town and Country Planning Act 1990 provides that the Local Planning Authority shall have regard to the provisions of the Development Plan, so far as material to the application, and to any other material considerations.
- 7.2** The Development Plan currently comprises the Joint Core Strategy (JCS) (2017), saved policies of the Tewkesbury Borough Local Plan to 2011-2031 (June 2022) (TBLP), and a number of 'made' Neighbourhood Development Plans.
- 7.3** The relevant policies are set out in the appropriate sections of this report.
- 7.4** Other material policy considerations include national planning guidance contained within the National Planning Policy Framework 2021 and its associated Planning Practice Guidance (PPG), the National Design Guide (NDG) and National Model Design Code.

## **8. Evaluation**

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### **Principle of development**

- 8.1** Criterion 4 (ii) of Policy SD10 'Residential Development' of the JCS sets out that on sites that are neither allocated or previously-developed land, housing development will be permitted, except where otherwise restricted by policies within district plans, where it would represent infill within the existing built up areas of Tewkesbury Borough's towns and villages.
- 8.2** Policy RES2 of the TBLP states that within defined settlement boundaries of the Tewkesbury Town Area, the Rural Service Centres, the Service Villages and the Urban Fringe Settlements (which are shown on the policies map) the principle of residential development is acceptable subject to the application of all other policies in the Local Plan.
- 8.3** As shown on the adopted policy map, the application site is located within the settlement boundary of Toddington (which includes New Town). Therefore, the principle of residential development at this site is considered to be acceptable provided that the development can be satisfactorily integrated within the framework of the surrounding development, and subject to other local plan policies and material considerations.
- 8.4** However, whilst the principle of a new dwelling in this location may be acceptable there are other material planning considerations to be taken into account as set out below.

## **Design and Visual Amenity**

- 8.5** Policy JCS Policy SD4 provides that new development should respond positively to, and respect the character of, the site and its surroundings, enhancing local distinctiveness, and address the urban structure and grain of the locality in terms of street pattern, layout, mass and form. It should be of a scale, type, density and materials appropriate to the site and its setting.
- 8.6** Criterion 6 of Policy SD10 'Residential Development' of the JCS states the residential development should seek to achieve maximum density compatible with good design, the protection of heritage assets, local amenity, the character and quality of the local environment, and the safety and convenience of the local and strategic road network.
- 8.7** Policy RES5 of the TBLP requires new housing to be of a design and layout that respects the character, appearance and amenity of the surrounding area and is capable of being well integrated within it.
- 8.8** The proposed dwellings would be located within the rear garden of 3 Consell Green. The existing garden is long and rectangular in shape with the rear gardens totalling a depth of approx. 63m. The site was historically used as two separate properties which explains why the application plot is wider than the neighbouring properties to the east along Tewkesbury Road. The width and depth of the existing rear garden allows the site to comfortably contain two new dwellings alongside amenity space and an access drive.
- 8.9** Whilst the prevailing character historically was for ribbon development, recent planning permissions have been granted which provide depth to the existing plots: the nearby Newlands development to the east of the site and the development to the west of the site which was granted planning permission for 4 dwellings under application 19/00376/FUL. The proposed site seeks to follow the pattern and layout of the development to the west of the site, albeit at a reduced scale. The development to the west comprises of four large detached two storey dwellings whereas the proposed development seeks 1 large two storey detached property (plot 2) and 1 smaller 1.5 storey detached property (Plot 1). Plot 1 has been sensitively designed to ensure that it would not be overbearing on the existing property and would not appear dominant.
- 8.10** Amended plans have been submitted to improve the design and scale of Plot 1 to be more in keeping with the surrounding properties. A flat roofed dwelling would have been out of character with the area. The new 1.5 storey dwelling at Plot 1 and the two-storey dwelling at Plot 2 with pitched roofs and dormers would be in keeping with the design and appearance of the recent adjacent schemes.
- 8.11** The proposed development is not considered to be overdevelopment or cramped as the garden sizes for Plot 1, Plot 2 and 3 Consell Green are considered to be acceptable. Front and rear gardens would still serve all 3 properties and the garden sizes are in keeping with the development to the west approved under permission 19/00376/FUL. It should be noted that a detailed landscaping and boundary treatment plan will be requested via a suitable condition.

- 8.12** In relation to materials, the proposed dwellings would have a contemporary appearance and the proposed materials would comprise a mix of render and timber boarding on the walls with natural slate roofs. The windows would be aluminium and the doors would be timber. The details outlined within the application form are similar or in keeping with those approved to the west of the site. It should be noted that samples of materials would be required via a condition.
- 8.13** In light of the recent developments in the area, the proposal is considered to be of a layout, scale, design and massing that would not be out of character for the area and would not lead to overdevelopment of the plot.

### **Impact on the Landscape and Landscaping**

- 8.14** Policy LAN1 relates to proposals within a Special Landscape area and states that development will be permitted providing that the proposal would not cause harm to those features of the landscape character which are of significance, the proposal maintains the quality of the natural and built environment and its visual attractiveness and all reasonable opportunities for the enhancement of landscape character and the local environment are sought.
- 8.15** The proposed site is located within a Special Landscape Area (SLA) as identified on the adopted policies map. The site is contained within an existing residential plot and the development would not encroach beyond this into the open countryside of the SLA beyond. As described above, the design of the development is considered appropriate to its specific context.
- 8.16** The proposal as originally submitted sought to erect 1.8m timber board fencing along the eastern and western boundaries. The Council's Landscape Adviser reviewed the proposal and requested that this be amended as the timber board fencing would not provide a positive visual outlook or landscape benefit.
- 8.17** The applicant subsequently submitted an amended plan which now provides for a 1.2m high timber post and rail fence with native hedge planting. This would be in keeping with the existing boundary treatment and would not result in harm to the SLA. The Landscape Adviser has reviewed the amended plans and has no objection to the development subject to conditions for more information in relation to landscaping and boundary treatment.
- 8.18** Overall, the proposed development would be set within the context of existing built development within the settlement boundary. The proposal is of an appropriate layout, design and scale and subject to compliance with conditions relating to landscaping, boundary treatment and external materials, would not adversely impact the character of the SLA.

### **Residential Amenity**

- 8.19** JCS policies SD4 and SD14 require development to enhance comfort, convenience and enjoyment through assessment of the opportunities for light, privacy and external space. Development should have no detrimental impact on the amenity of existing or new residents or occupants.

- 8.20** The proposal would provide a two bedroom dwelling at plot 1 with a total gross internal area of 112sqm. The second dwelling at plot 2 would provide a 3 bedroom dwelling with a total gross internal area of 141sqm. Both dwellings exceed the Nationally Described Space Standards requirement of 79/102sqm respectively. This ensures that the dwelling will provide acceptable living conditions for any future occupiers. Similarly, the proposal would benefit from a front and rear gardens that would be in keeping with recent developments and benefit future residents.
- 8.21** In terms of overlooking, Plot 1 only has 1 roof light on the front elevation over a stairwell which would ensure there would be no adverse impacts from overlooking into neighbouring private gardens. At the rear of plot 1, there are two dormer windows which would face the new properties to the west. A separation distance of 21m would be maintained which would ensure the new dormer windows would not lead to overlooking. Plot 2 has no side facing windows and therefore there would be no overlooking to neighbouring private amenity areas. Plot 1 and Plot 2 have been sensitively designed to ensure there is no overlooking between the properties as the front elevation of plot 2 only has rooflights at first floor level which minimises overlooking. Furthermore, boundary treatment would screen any potential overlooking between the properties at ground floor level.
- 8.22** Plot 1 is well separated from the existing dwelling at 3 Consell Green, there are no windows on the side elevation facing 3 Consell Green and the proposed garages would provide screening.
- 8.23** The proposed dwellings are set away from the neighbouring boundaries and as a result of their siting, design and scale would not be overbearing or result in adverse living conditions for the occupiers of neighbouring dwellings. Furthermore, the Council's Environmental Health Officer has raised no objection to the proposed development in terms of noise/nuisance.
- 8.24** It is considered that, there would be no unacceptable adverse impacts in terms of overlooking, loss of light or overbearing effects upon neighbouring properties and the proposal would therefore accord with Policy RES5 of the TBLP and SD4 and SD14 of the JCS.

### **Drainage and Flood Risk**

- 8.25** Policy INF2, Flood Risk Management, of the JCS explains how development should minimise the risk of flooding, contribute to a reduction in existing flood risk, apply a sequential test for assessment of applications giving priority to land in Flood Zone 1, incorporate suitable Sustainable Drainage Systems (SuDS) where appropriate in the view of the local authority to manage surface water drainage: to avoid any increase in discharge into the public sewer system; to ensure that flood risk is not increased on-site or elsewhere; and to protect the quality of the receiving watercourse and groundwater.
- 8.26** Policy ENV2, Flood Risk and Water Management, of the TBLP requires all proposals to incorporate sustainable drainage systems where appropriate and proportionate to the scale and nature of development proposed.
- 8.27** As confirmed by the Environmental Agency's Flood Map for Planning, the site is located within Flood Zone 1 and therefore at the lowest risk of flooding and appropriate for new residential development.

- 8.28** In relation to foul water drainage, the applicant is proposing to drain to the existing public Severn Trent sewer which passes through the site. This is subject to consent from Severn Trent who have responded to the application with no objection in principle. Therefore, a condition could be added to ensure foul water connection is achievable prior to the occupation of the dwellings.
- 8.29** In relation to surface water, a surface water drainage system has been designed to accommodate the flows generated by a 1 in 100-year event, plus an allowance of 40% for climate change. Runoff from roof and driveway areas would be stored within a permeable gravel subbase and a cellular attenuation tank, from which it would be discharged to the nearby swale, to the south, and then into the ditch. A hydrobrake flow control chamber would limit flows to 0.4l/s, which is the Greenfield Q1 value. All parking bays are to be constructed using permeable gravel to increase the water quality. This is where oil spillage is most likely to occur and the open graded crushed rock in the subbase will break down hydrocarbons before they discharge to the swale. The surface water networks will remain private, to be maintained as per the SuDS Maintenance Guide (5371-CONS-ICS-XX-RP-C-07.002 - SUDS Maintenance Guide). The Council's Drainage Engineer has reviewed the submitted information and has raised no objection subject to conditions.

### **Ecology**

- 8.30** The NPPF sets out, inter alia, that when determining planning applications, Local Planning Authorities should aim to conserve and enhance biodiversity by encouraging opportunities to incorporate biodiversity in and around developments, especially where this can secure measurable gains for biodiversity. Policy SD9 of the JCS seeks to protect and, wherever possible enhance biodiversity, including wildlife and habitats. Policy NAT1 of the TBP states that development proposals that will conserve, and where possible restore and/or enhance, biodiversity will be permitted.
- 8.31** The application site is an existing residential garden which has limited ecological value. Therefore, the proposal is considered to be acceptable in relation to ecology subject to a condition for information relating to the insertion of bird and bat boxes across the development site.

### **Access and Highway Safety**

- 8.32** Paragraph 103 of the NPPF sets out that opportunities to maximise sustainable transport solutions which will vary between urban and rural areas, and this should be taken into account in both plan-making and decision-making. Furthermore, development should only be prevented or refused on highways grounds where there would be an unacceptable impact on highway safety, or the residual cumulative impacts of development are severe.
- 8.33** Policy INF1 'Transport Network' states that developers should provide safe and accessible connections to the transport network to enable travel choice for residents and commuters.
- 8.34** Policy RES5 requires proposals to make provision for appropriate parking and access arrangements and not result in the loss or reduction of existing parking areas to the detriment of highway safety.

- 8.35** The proposal seeks to introduce 2 No. dwellings and garages to the plot of 3 Consell Green, Toddington with associated access and the demolition of the existing garage and greenhouse. The application site benefits from good walking and cycling connectivity with bus stops, places of employment, schools, and convenience stores all within 10 minutes' walking distance of the dwelling.
- 8.36** An access statement has been submitted in support of the application, which confirms that visibility splays measured against recorded speeds on the B4077 are achievable within public highway.
- 8.37** The Highway Authority has undertaken a robust assessment of the planning application. Based on the analysis of the information submitted the Highway Authority concludes that there would not be an unacceptable impact on Highway Safety or a severe impact on congestion. There are no justifiable grounds on which an objection could be maintained.
- 8.38** A condition could be added to ensure the provision of vehicular visibility splays.

### **Community Infrastructure Levy (CIL)**

- 8.39** The development is CIL liable because it creates new dwelling(s). The relevant CIL forms have been submitted.

## **9. Conclusion**

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- 9.1** Section 38(6) of the Town and Country Planning Act 1990 provides that, if regard is to be had to the development plan, the determination must be made in accordance with the development plan unless other material circumstances indicate otherwise. Section 70 (2) of the Act provides that the Local Planning Authority shall have regard to the provisions of the development plan, so far as material to the application, and to any other material considerations.
- 9.2** Given the principle of development is acceptable in this location, officers have considered the other material planning considerations. Amended plans were received which have now overcome concerns in respect of design of the proposed dwelling at plot 1, landscaping and drainage.

## **10. Recommendation**

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- 10.1** It is considered that the scheme as amended and subject to compliance with the recommended conditions would result in a high-quality development which would have an acceptable impact on neighbouring amenity, the character of the area and would comply with relevant policies in the plan. It is therefore recommended that authority is **DELEGATED to the Development Management Manager to PERMIT the application subject to any additional/amended planning conditions.**

## **11. Conditions**

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- 1** The works hereby permitted shall be begun before the expiration of three years from the date of this consent.

Reason: Required to be imposed by Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.



**2** The development hereby permitted shall be carried out in accordance with the following approved documents:

- Site Location Plan received by the LPA on 5<sup>th</sup> December 2023
- Site Layout Plan 1742/1/C
- Plot 1 Plans and Elevations 1742/2/B
- Plot 2 Plans and Elevations 1742/3
- Plot 2 Garage 1742/4
- Plot 1/No.3 Garage 1742/5
- Drainage Design 0200 P01
- SuDS Maintenance Guide 5371-CONS-ICS-XX-RP-C-07.002
- Drainage Statement 5371-CONS-ICS-XX-RP-C-03.001
- Access Statement 2214TN01A

except where these may be modified by any other conditions attached to this permission.

Reason: To ensure that the development is carried out in accordance with the approved plans

**3** No work shall start on the construction of the buildings hereby approved until details of floor slab levels of each new building, relative to each existing building on the boundary of the application site have been submitted to and approved in writing by the Local Planning Authority. Thereafter the new buildings shall be constructed at the approved floor slab levels.

Reason - To protect the amenity of neighbouring properties and to ensure that the proposed development does not have an adverse effect on the character and appearance of the area.

**4** No work above floor plate level shall be carried out until samples of all external materials proposed to be used on facing materials, windows, doors, roof and architectural detailing have been submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details.

Reason: To ensure that materials are in keeping with the surrounding area and to provide for high quality design.

**5** No development shall commence until a detailed design of the swale as stated on approved drainage plan 0200 P01 has been submitted to and approved in writing by the Local Planning Authority. The submitted details shall be carried out as per the other details confirmed within Drainage Design 0200 P01, SUDS Maintenance Guide 5371-CONS-ICS-XX-RP-C-07.002 and Drainage Statement 5371-CONS-ICS-XX-RP-C-03.001. The scheme for the surface water drainage shall be implemented in accordance with the approved details and timetable and shall be fully operational before the development is first put into use/occupied.

Reason: To ensure the development is provided with a satisfactory means of drainage and thereby reducing the risk of flooding. It is important that these details are agreed prior to the commencement of development as any works on site could have implications for drainage, flood risk and water quality in the locality.

- 6** No building hereby permitted shall be occupied until details of the design, implementation, maintenance and management of foul water drainage works have been submitted to and approved in writing by the Local Planning Authority. The development shall be carried out, and the drainage maintained/managed, in accordance with the approved details.

Reason: To ensure development would not result in unacceptable risk of pollution or harm to the environment.

- 7** No work above floor plate level shall be carried out until there has been submitted to and approved by the Local Planning Authority in writing, a comprehensive scheme of landscaping which shall include details of all hard-surfacing materials, proposed planting and proposed boundary treatments to secure the residential curtilage. The development shall be implemented in accordance with the approved details.

Reason: In the interests of visual amenity.

- 8** All planting, seeding, or turfing in the approved details of landscaping for the residential development shall be carried out in the first planting and seeding season following the occupation of the respective building(s) or completion of the respective developments, whichever is the sooner. Any trees or plants which within a period of five years from the completion of the development die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species, unless the Local Planning Authority gives written consent to any variation.

Reason: In the interests of visual amenity.

- 9** Details of any new external lighting in connection with this development shall, prior to its installation, be first submitted to and approved in writing by the Local Planning Authority. The details shall be in the form of a Lighting Strategy Scheme, detailing the location and specification of the lighting supported by contouring plans demonstrating any light spill into adjacent habitats. This plan should be completed in conjunction with advice from the project ecologist. The development shall be implemented in accordance with the approved details.

Reason: To ensure the development contributes to the conservation and enhancement of biodiversity within the site and wider area

- 10** During the construction phase (including preparatory groundworks), no machinery shall be operated, no process shall be carried out and no deliveries shall be taken at or dispatched from the site outside the following times: Monday-Friday 8.00 am-6.00pm, Saturday 8.00 am-1.00 pm nor at any time on Sundays, Bank or Public Holidays.

Reason: To protect the amenity of adjacent properties.

- 11** The development hereby approved shall not be occupied until visibility splays are provided from a point 0.6m above carriageway level at the centre of the access to the application site and 2.4 metres back from the near side edge of the adjoining carriageway, (measured perpendicularly), for a distance of 120 metres to the west and 83.4 metres to the east measured along the nearside edge of the adjoining carriageway. These splays shall thereafter be permanently kept free of all obstructions to visibility over 0.6m in height above carriageway level.

Reason: In the interests of highway safety.

- 12 Prior to the first use/occupation of the development hereby approved, bird nesting sites/boxes and artificial bat roosting sites/boxes shall be installed in accordance with details that have first been submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure the development contributes to the conservation and enhancement of biodiversity within the site and the wider area

- 13 Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any order revoking and re-enacting that Order with or without modification), no extensions/dormer windows shall be constructed without the express permission of the Local Planning Authority.

Reason: In the interests of visual amenity and neighbouring residential amenity

## 12. Informatives

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- 1 In accordance with the requirements of the NPPF the Local Planning Authority has sought to determine the application in a positive and proactive manner by offering pre-application advice, publishing guidance to assist the applicant, and publishing the to the Council's website relevant information received during the consideration of the application thus enabling the applicant to be kept informed as to how the case was proceeding.

- 2 The Local Highway Authority has no objection to the above subject to the applicant obtaining a section 184 licence. The construction of a new access will require the extension of a verge and/or footway crossing from the carriageway under the Highways Act 1980 - Section 184 and the Applicant is required to obtain the permission of Gloucestershire Highways on 08000 514 514 or [highways@gloucestershire.gov.uk](mailto:highways@gloucestershire.gov.uk) before commencing any works on the highway. Full Details can be found at [www.gloucestershire.gov.uk](http://www.gloucestershire.gov.uk) .

- 3 It is expected that contractors are registered with the Considerate Constructors scheme and comply with the code of conduct in full, but particularly reference is made to "respecting the community" this says:  
Constructors should give utmost consideration to their impact on neighbours and the Public

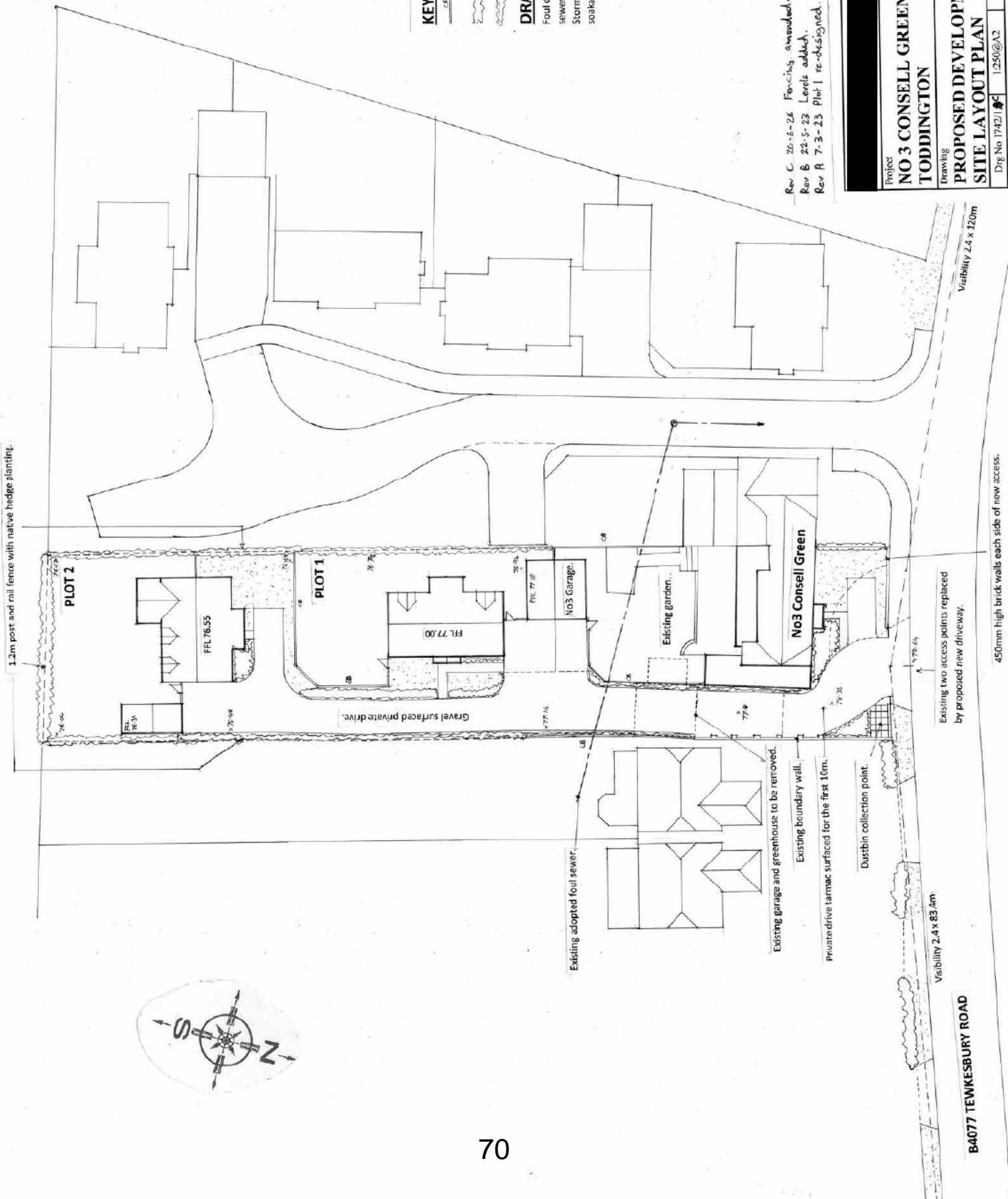
- Informing, respecting and showing courtesy to those affected by the work;
- Minimising the impact of deliveries, parking and work on the public highway;
- Contributing to and supporting the local community and economy; and
- Working to create a positive and enduring impression, and promoting the Code.

The CEMP should clearly identify how the principal contractor will engage with the local community; this should be tailored to local circumstances. Contractors should also confirm how they will manage any local concerns and complaints and provide an agreed Service Level Agreement for responding to said issues.

Contractors should ensure that courtesy boards are provided, and information shared with the local community relating to the timing of operations and contact details for the site coordinator in the event of any difficulties. This does not offer any relief to obligations under existing Legislation.

**NO. 3 CONSELL GREEN. LOCATION PLAN 1:1250**





**KEY**

- 1.8m high close boarded fence.
- ~ Proposed shrub and hedge planting.
- 1.2m Timber post & rail fence with native hedge planting.

**DRAINAGE**

Foul drainage connected to existing adopted foul sewer crossing the site in location shown.  
 Stormwater drainage connected to individual soakways in rear gardens of each plot.

Rev C 26-15-26 Fencing amended.  
 Rev B 22-5-23 Levels added.  
 Rev A 7-3-23 Plot 1 re-designed.

SCALE BAR 1:250  
 0 2m 4m 6m 8m 10m

<b>ANDREW P JONES ASSOCIATES</b> Development Consultants		FLA FIELD HOUSE, POST OFFICE LANE CLIFFE HILL, CHILTERNHAM, GLOUCESTERSHIRE, GL52 3PS TELEPHONE/FAX 01292 676025 e-mail aj@apjassociates.co.uk	
Project <b>NO 3 CONSELL GREEN TODDINGTON</b>		1:250@A2 25-10-22	
Drawing <b>PROPOSED DEVELOPMENT SITE LAYOUT PLAN</b>		1:250@A2 25-10-22	

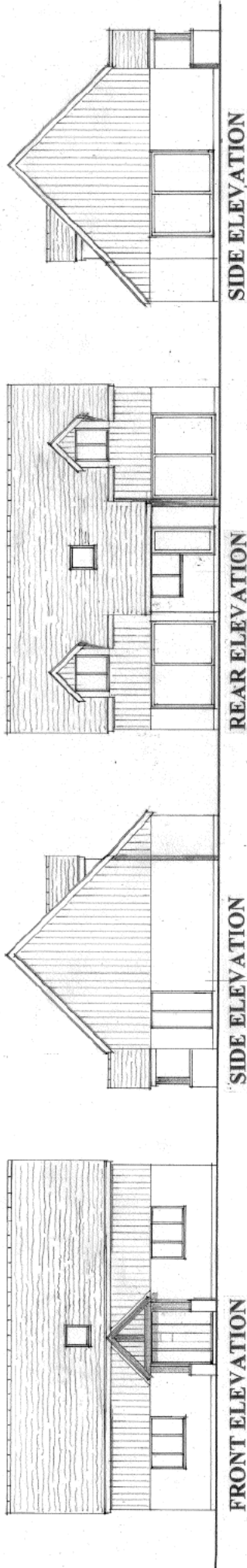
**B4077 TEWKESBURY ROAD**

Visibility 2.4 x 83.4m

Existing two access points replaced by proposed new driveway.

450mm high brick walls each side of new access.

Visibility 2.4 x 120m



FRONT ELEVATION

SIDE ELEVATION

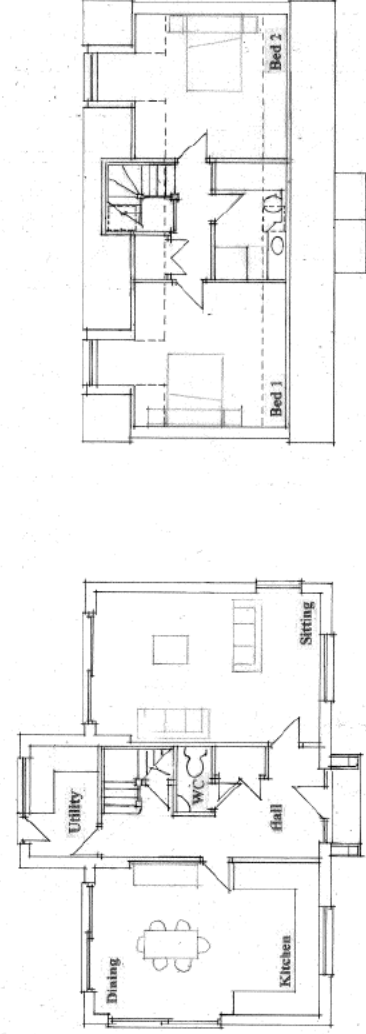
REAR ELEVATION

SIDE ELEVATION

Rev B 18-3-23 House redesigned.  
 Rev A 7-3-23 House redesigned.

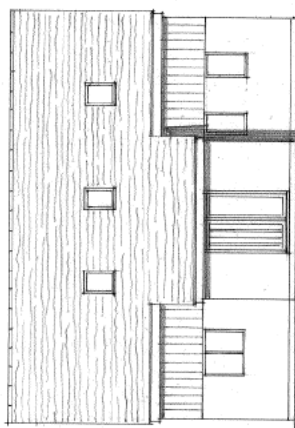
SCALE BAR 1:100  
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<b>ANDREW P JONES ASSOCIATES</b> Development Consultants <small>FLAXFIELD HOUSE, POST OFFICE LANE          CLEEVE HILL, CHELTENHAM,          GLOUCESTERSHIRE, GL52 3PS          TELEPHONE/FAX 01452 670625          e-mail <a href="mailto:aj@apjasociates.co.uk">aj@apjasociates.co.uk</a></small>	
Project <b>NO 3 CONSELL GREEN TODDINGTON</b>	
Drawing <b>PROPOSED DEVELOPMENT PLOT 1 PLANS &amp; ELEVATIONS</b>	
Dwg No 17422 B	1:100/A2 7-3-23

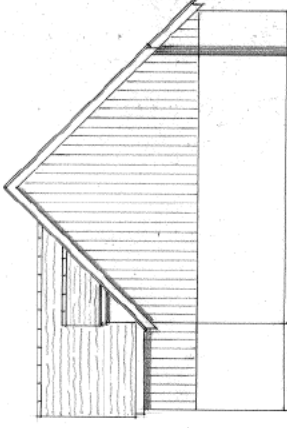


GROUND FLOOR

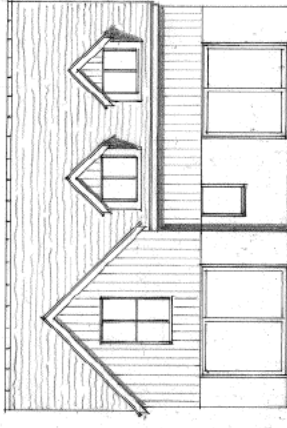
FIRST FLOOR



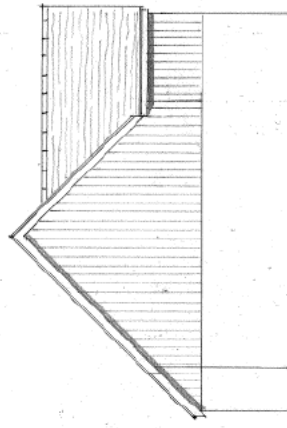
FRONT ELEVATION



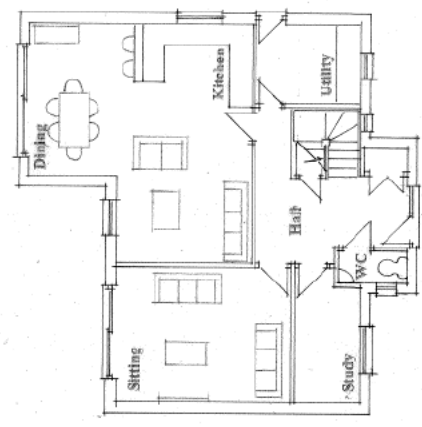
SIDE ELEVATION



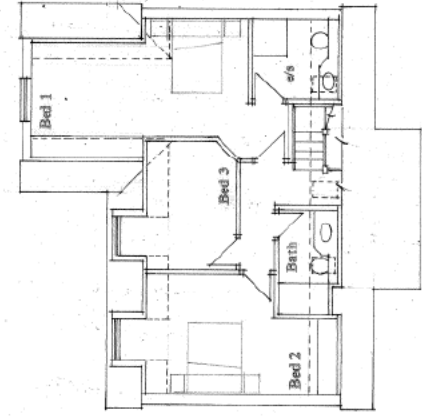
REAR ELEVATION



SIDE ELEVATION



GROUND FLOOR

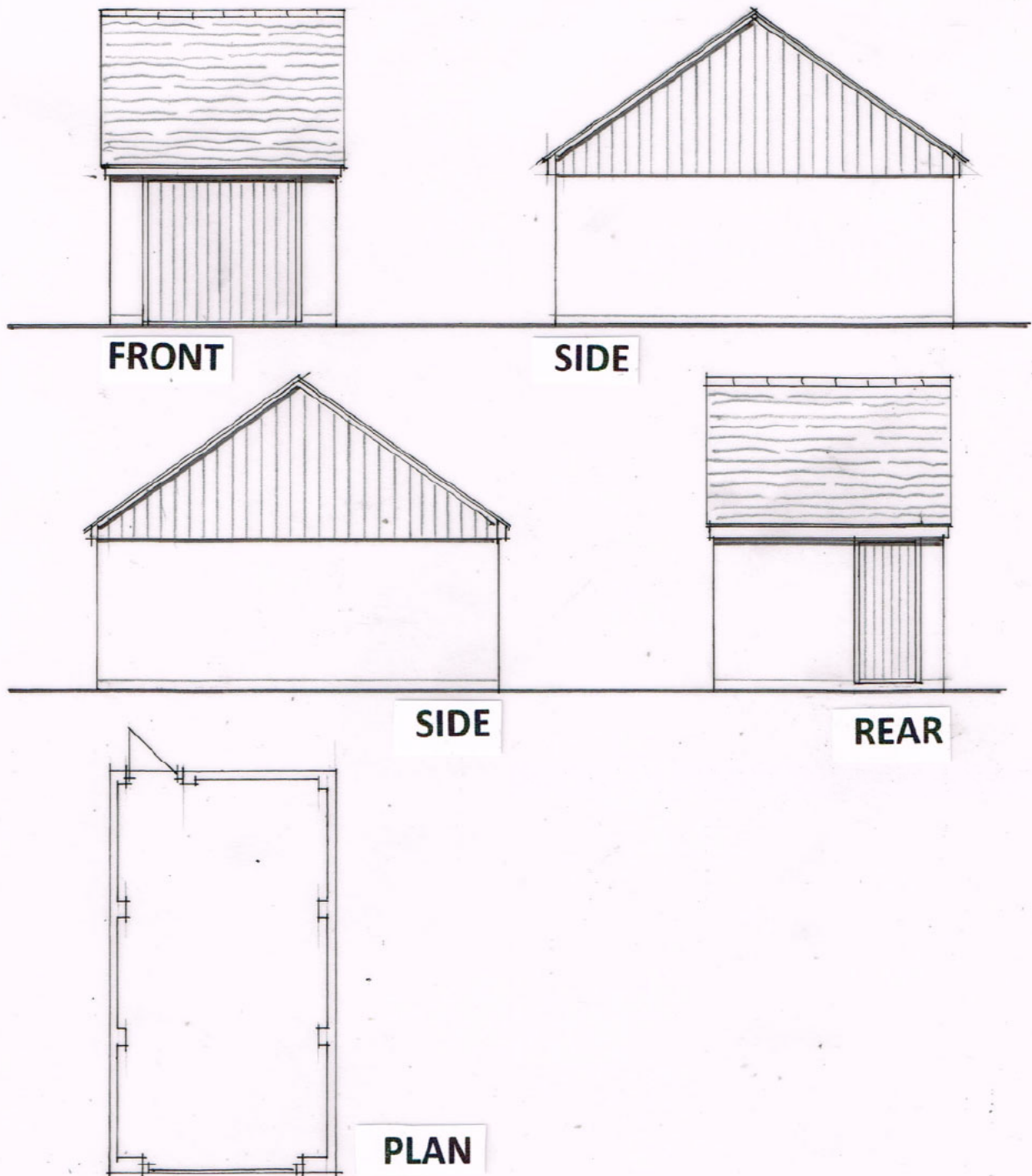


FIRST FLOOR

SCALE BAR 1:100  
0 1m 2m 3m 4m

<b>ANDREW P JONES ASSOCIATES</b> Development Consultants		FLATFIELD HOUSE, POST OFFICE LANE CLEVEY HILL, CHELTENHAM, GLOSCESTERSHIRE GL51 3PS TELEPHONE/FAX 01242 679025 e-mail <a href="mailto:aj@apjassociates.co.uk">aj@apjassociates.co.uk</a>	
Project <b>NO 3 CONSELL GREEN TODDINGTON</b>		Drawing <b>PROPOSED DEVELOPMENT PLOT 2 PLANS &amp; ELEVATIONS</b>	
Dwg No 17423	1:100@A2	14-11-22	





Project

**NO 3 CONSELL GREEN  
TODDINGTON**

Drawing

**PLOT 2 GARAGE**

73

Drg No 1742/4

1:100@A4

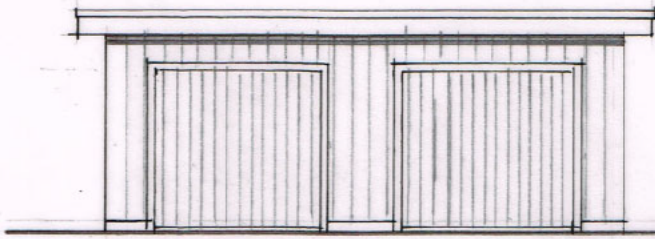
28-11-22

**ANDREW P JONES  
ASSOCIATES**  
**Development Consultants**

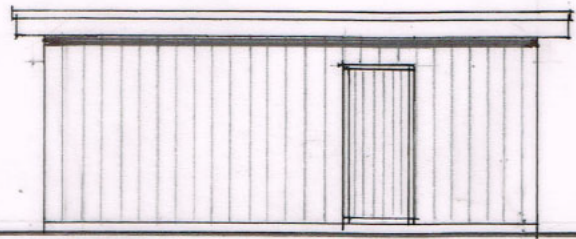
FLAXFIELD HOUSE, POST OFFICE LANE  
CLEEVE HILL, CHELTENHAM,  
GLOUCESTERSHIRE. GL52 3PS  
TELEPHONE/FAX 01242 676025

e-mail [aj@apjassociates.co.uk](mailto:aj@apjassociates.co.uk)

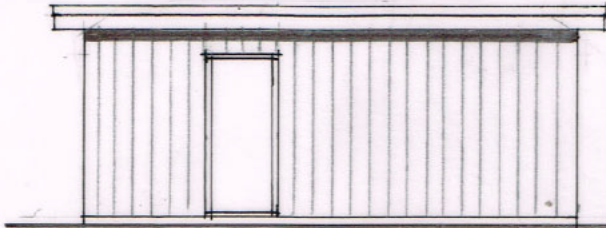




**FRONT**



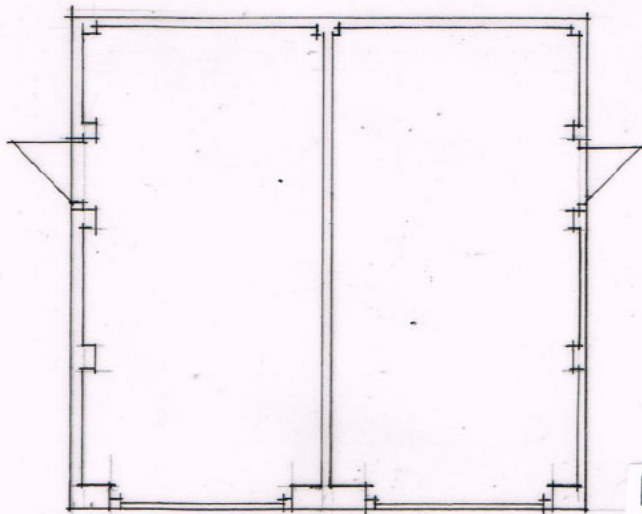
**SIDE**



**SIDE**



**REAR**



**PLAN**

Project

**NO 3 CONSELL GREEN  
TODDINGTON**

Drawing

**PLOT 1 / No. 3 GARAGE**

74

Drg No 1742/5

1:100@A4

28-11-22

**ANDREW P JONES  
ASSOCIATES**

**Development Consultants**

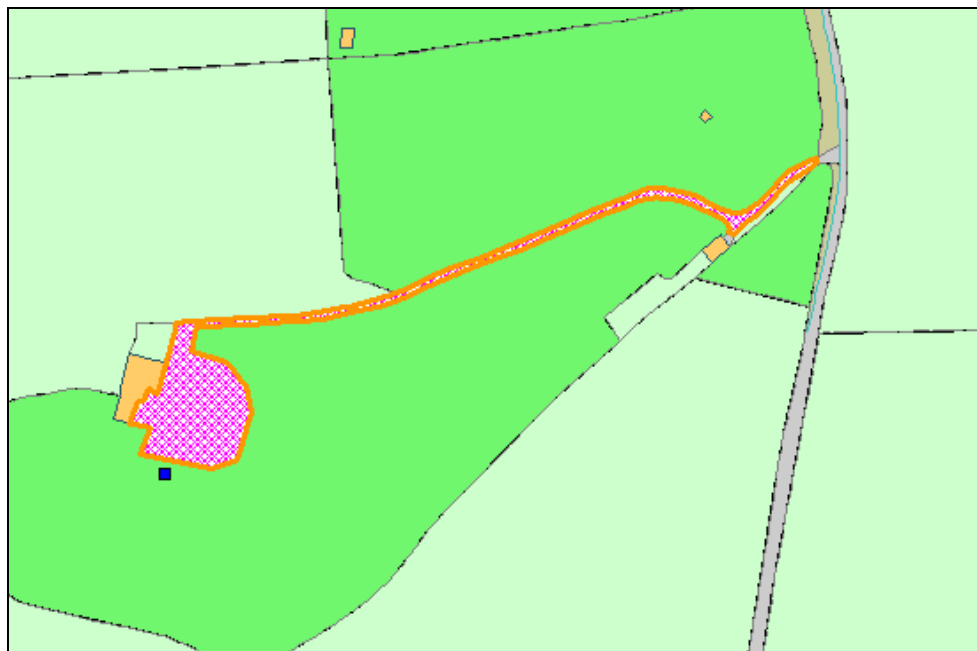
FLAXFIELD HOUSE, POST OFFICE LANE  
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GLOUCESTERSHIRE. GL52 3PS  
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e-mail [aj@apjassociates.co.uk](mailto:aj@apjassociates.co.uk)

## Planning Committee

<b>Date</b>	18 July 2023
<b>Case Officer</b>	Jonny Martin
<b>Application No.</b>	21/01409/FUL
<b>Site Location</b>	The Coach House, Shuthonger, Tewkesbury
<b>Proposal</b>	Change of use of land to glamping and the erection of four timber glamping pods with associated parking, pathways and groundworks. Erection of a reception cabin and communal sauna building. Re-surfacing of existing site access.
<b>Ward</b>	Tewkesbury North and Twyning
<b>Parish</b>	Twyning
<b>Appendices</b>	Location Plan Layout Plan Existing Layout Plan Pod Elevations Road and Access Plan Artist Impressions (Illustrative) Reception Hut elevations Sauna Elevations Drainage Plan
<b>Reason for Referral to Committee</b>	Parish Council Objection
<b>Recommendation</b>	Permit

### Site Location



## **1. The Proposal**

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1.1 Full application details are available to view online at:

<https://publicaccess.tewkesbury.gov.uk/online-applications/applicationDetails.do?activeTab=documents&keyVal=R2YOT7QDHYQ00>

1.2 This Planning permission is sought for the change of use of land to glamping and the erection of 4no. timber glamping pods. The plot is situated off the A38 in the small village of Shuthonger outside Tewkesbury in Gloucestershire. The existing A38 would be the main access route to reach the site, then using the existing access to turn off the main road. From here guests would follow an existing track into a new small parking and turning area.

1.3 Alongside the pods the proposal includes a permeable parking/turning area, recycling/waste, a reception hut and a communal sauna. One parking bay per pod is proposed, with an existing entrance track/road to be improved. Each guest pod would have an area of private decking. Also intended are associated footpaths and landscaping. There is an existing right of way running along the west boundary line to the site which would remain unhindered.

### **1.4 Amendments**

1.5 Since the application was submitted, the following amendments have been made to the scheme:

- Relocation of pods to address amenity concerns
- Updated planting and landscaping plan
- A Water Treatment Plant is now proposed to service the pods
- The applicant has provided a document to respond to Parish Council objections

## **2. Site Description**

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2.1 The application site is situated off the A38 in the small village of Shuthonger which is 2 miles north of Tewkesbury. The site is located to the rear of the properties which front onto the A38 and currently is open grassland. The site contains an existing shelter and a number of trees.

2.2 The site is within the setting of Shuthonger House which is a Grade II Listed building. It is also noted that application passes through, and is located to the rear of, Shuthonger Manor.

2.3 The site would be accessed off the A38 via an existing access and then the pods would be accessible via an existing track into the site which proposes a parking and turning area.

2.4 The application site is located adjacent to the rural settlement of Shuthonger.

### 3. Relevant Planning History

Application Number	Proposal	Decision	Decision Date
97/01054/FUL	Extension to existing garage to provide workshop and carport	PER	06.01.1998
98/00102/FUL	Erection of a field shelter	PER	01.04.1998
49/00101/FUL	Conversion of stable to living accommodation.	PER	21.07.1949
74/00102/FUL	Change of use from barn and outbuildings to two dwellings.	REF	23.10.1974
79/00306/FUL	Retention of development under planning reference T.3144/K/1 dated 5/10/76 without complying with condition (e) imposed.	PER	09.10.1979
80/00331/FUL	Retention of development permitted 12.5.77 ref: T.3144/L without complying with condition (e).	PER	17.03.1980
78/00288/FUL	Erection of a double private car garage.	PER	22.02.1978
08/01430/FUL	retention of Conservatory.	PER	23.12.2008
78/00511/FUL	Erection of a double private car garage. (Within the curtilage of a Grade II Listed Building Ref: 2/2)	PER	22.02.1978

### 4. Consultation Responses

Full copies of all the consultation responses are available online at <https://publicaccess.tewkesbury.gov.uk/online-applications/>.

#### 4.1 Twyning Parish Council – objects to the proposal on the following grounds:

- This new application 21/01409/FUL seeks to mitigate previous concerns by moving the pods further into the site. It does not however, add to the enjoyment of the dwelling known as The Coach House and will be solely for commercial purposes, Twyning Parish Council object to this application. It is contrary to the following policies in the Tewkesbury Local Plan (TLP) and the Twyning Neighbourhood Development Plan (TNDP)
- Access: The access proposal is contrary to guidance in the Manual for Streets in so far as a private driveway can only serve up to a maximum of six properties, after which the traffic generated and number of turning movements associated with the driveway is considered sufficient for the access to be considered for adoption by the Local Highways Authority and therefore must accord with the design characteristics of a pedestrian prioritise Street, informal Street, or an Enhanced Street.
- Employment: the proposal would be contrary to Policy EMP4 and EMP5 as the site would have an unacceptable impact on neighbouring amenity and the access is not

safe.

- Tourism: The proposal is contrary to Policy TOR1 and TOR 5 in relation to design and highway safety.
- Heritage: The development will harm a designated heritage asset.
- Foul Water: the development would further exacerbate capacity issues in the area
- Lighting: in a dark area, the lighting would be contrary to Policy GD8 of the TNDP.

**4.2** The applicant has provided a rebuttal document (summarised below) to the objection from the Parish as follows:

- The current application is not in any way linked to the previous application approved in 1998 for an extension to the garage of The Coach House. This will be kept for residential use and will not be associated with the commercial use of the glamping pods, no guests will have access to this area of land and the residents of the dwelling (the applicant) will manage the site remotely from home. This business will therefore allow the residents to continue living in this area and therefore enjoy the dwelling known of The Coach House.
- Access: The existing access will be utilised to guide guests to a new parking/turning area at the site. The archway through the houses must remain clear at all times, this has always been a rule. There are also two access points for these dwellings which will further accommodate the additional cars associated with this development.
- Lighting: A small-scale lighting plan has been proposed, with no exterior lighting located near the dwellings and only for safety when walking the paths at dark. These will all be downwards facing and have an integrated PIR system. It is therefore expected that no light pollution will occur.
- Heritage: See Heritage Officer comments.
- Drainage: See Drainage Officer comments.
- Tourism: The proposed site is within the overall property boundaries of The Coach House which is our home. As such this means we are 'on site' thus better able to manage the site and respond to matters as they may arise.

**4.3 Archaeology** – No objection and no further work required.

**4.4 Building Control Officer** – No objection.

**4.5 Conservation** – No objection subject to conditions.

**4.6 County Highways Officer** – no objection subject to conditions.

**4.7 Drainage** – No objection subject to conditions.

**4.8 Ecology** – No objection subject to conditions.

**4.9 Environmental Health Officer** – No objection subject to conditions.

**4.10 Landscape** – No objection

**4.11 Flood Risk & Management Officer** – no objection subject to detailed design condition.

**4.12 PROW** – No objection.

**4.13 Severn Trent** - no objections

## **5. Third Party Comments/Observations**

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- 5.1** Full copies of all the representation responses are available online at <https://publicaccess.tewkesbury.gov.uk/online-applications/>.
- 5.2** The application has been publicised through the posting of a site notice for a period of 21 days and nine letters of representation have been received objecting as follows:
- Overdevelopment of School Lane
  - Access and parking concerns
  - Overlooking and loss of privacy
  - Design is out of keeping with the size for the character of the lane
  - Loss of agricultural land

## **6. Relevant Planning Policies and Considerations**

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### **6.1** Statutory Duty

Planning law requires that applications for planning permission must be determined in accordance with the Development Plan unless material considerations indicate otherwise.

Planning (Listed Buildings and Conservation Areas) Act 1990 – Section 66 of the Act prescribes a general duty that, in considering whether to grant planning permission, special attention be given to the desirability of preserving a listed building or its setting or any features of special architectural or historic interest which it possesses.

The following planning guidance and policies are relevant to the consideration of this application:

### **6.2** National guidance

National Planning Policy Framework (NPPF) and the National Planning Practice Guidance (NPPG)

### **6.3** Gloucester, Cheltenham and Tewkesbury Joint Core Strategy (JCS) – Adopted 11 December 2017

- Policy SP1 (The Need for New Development)
- Policy SP2 (The Distribution of New Development)
- Policy SD4 (Design Requirements)
- Policy SD6 (Landscape)
- Policy SD9 (Biodiversity and Geodiversity)
- Policy SD14 (Health and Environmental Quality)
- Policy INF1 (Transport Network)
- Policy INF2 (Flood Risk Management)
- Policy INF3 (Green Infrastructure)

#### **6.4 Tewkesbury Borough Local Plan to 2011-2031 (TBLP) – Adopted 8 June 2022**

- Policy RES 2 (Settlement Boundaries)
- Policy RES3 (New Housing Outside Settlement Boundaries)
- Policy RES4 (New Housing at other rural settlements)
- Policy RES5 (New Housing Development)
- Policy RES9 (Replacement Dwellings)
- Policy RES11 (Change of Use of Agricultural Land to Domestic Garden)
- Policy LAN2 (Landscape Character)
- Policy NAT1 (Biodiversity, Geodiversity and Important Natural Features)
- Policy ENV2 (Flood Risk and Water Management)
- Policy TRAC9 (Parking Provision)
- Policy DES1 (Housing Space Standards)

#### **6.5 Neighbourhood Plan**

##### **Twynning Parish Neighbourhood Development Plan 2011-2031 (January 2018)**

- Policy GD4 – Landscape and Biodiversity
- Policy GD5 – Provision for vehicles
- Policy GD6 – Effect on neighbouring properties
- Policy GD7 – Water resources, quality and flood risk
- Policy GD8 – Lighting
- Policy TP1 – Traffic
- Policy TP2 – Access
- Policy E1 – Principles of employment development

### **7. Policy Context**

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- 7.1** Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that proposals be determined in accordance with the Development Plan unless material considerations indicate otherwise. Section 70 (2) of the Town and Country Planning Act 1990 provides that the Local Planning Authority shall have regard to the provisions of the Development Plan, so far as material to the application, and to any other material considerations.
- 7.2** The Development Plan currently comprises the Joint Core Strategy (JCS) (2017), the Tewkesbury Borough Local Plan to 2011-2031 (June 2022) (TBLP), and a number of 'made' Neighbourhood Development Plans.
- 7.3** The relevant policies are set out in the appropriate sections of this report.
- 7.4** Other material policy considerations include national planning guidance contained within the National Planning Policy Framework 2021 and its associated Planning Practice Guidance (PPG), the National Design Guide (NDG) and National Model Design Code.



## **8. Evaluation**

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### ***Principle of development***

- 8.1** Paragraph 84 of the NPPF advises that planning policies and decisions should enable the sustainable growth and expansion of all types of business in rural areas, either through the conversion of existing buildings or well-designed new buildings. Sustainable rural tourism which respects the character of the countryside, should be facilitated. The use of previously developed land, and sites that are physically well-related to existing settlements, should be encouraged where suitable opportunities exist.
- 8.2** Policy SD1 of the JCS sets out the economic strategy across the JCS area. Policy SD1 advises that employment-related development will be supported within the wider countryside when it is located within or adjacent to a settlement or where it allows the growth or expansion of existing businesses or would encourage and support the development of small and medium sized enterprises, subject to other policies of the plan. The explanation to Policy SD1 advises on the importance of tourism in supporting jobs in the rural economy as well as supporting the vitality and viability of the market towns of Winchcombe and Tewkesbury.
- 8.3** Policy E1 of the Twynning Parish Neighbourhood Development Plan (TPNDP) states that small scale development that is demonstrated to improve local employment opportunities will be permitted within or adjacent to outlying settlements.
- 8.4** Policy TOR1 of the Tewkesbury Borough Plan supports proposals for tourism related development and extensions to existing tourist development, subject to a number of caveats, including good inclusive access for all potential users and siting, design and scale being in keeping with the built, natural and historic environment setting and wherever possible and practicable seeking to enhance it. The accompanying RJ recognises tourism's importance as a source of employment within the Borough as well as its potential to benefit the community and the place, as well as the visitor. Further, the positive economic and environmental benefits of tourism should be maximised, while respecting the built, natural and historic environment setting.
- 8.5** Policy TOR2 (Serviced/self-catering accommodation) of the TBP advises that the development of serviced and self catering accommodation will be permitted on sites within existing defined settlement boundaries, as identified on the Policies Map. In the interest of promoting sustainable tourist development proposals involving new accommodation should be located where they will have access to basic services such as shops, public houses, public transport facilities.
- 8.6** Policy TOR3 (Caravan and camping sites) of the TBP provides that proposals for new or extended caravan and camping sites for tourist accommodation should be located within or adjacent to existing settlements as identified on the Policies Map or existing sites of tourism or hospitality facilities and accommodation. All proposals must be of a scale commensurate with the surrounding area, including the scale of existing settlements. In considering all proposals, overriding protection will be afforded to the landscape and character of the area, particularly with regard to siting, topography and landscape design, as well as to the amenity of any neighbouring uses. The number and size of any associated new buildings (i.e. toilet and washing facilities) shall be kept to the minimum necessary and proposals make use of existing buildings for such purposes where possible.



- 8.7** All proposals must be well related to the primary road network and any local roads involved in gaining access to the site should be capable of accommodating the extra traffic generated without undue hazard or inconvenience to local residents or other road users. The Reasoned justification advises that Policy TOR3 applies to caravan, camping and chalet sites for tourism purposes and includes glamping pods. Officers consider that the provision of glamping pods for tourist accommodation, would fall within Policy TOR3.
- 8.8** Shuthonger is a rural settlement within Tewkesbury Borough as identified within the JCS Rural Area Settlement Audit (2017). The application site is located to the rear plot of the Coach House which is located within Shuthonger. Therefore, the proposal is considered to be within or adjacent to a settlement as required by Policies TOR2 and TOR3. The sites' location is also in accordance with Policy SD1 of the JCS in that development within or adjacent to settlements in the wider countryside will be encouraged and supported.
- 8.9** The applicant has also provided a Market Research document to support the proposal as Policy TOR3 requires new sites within the open countryside to demonstrate why the location is essential. This report provides a breakdown of nearby tourist attractions including historic sites and castles, walks and nature, arts and culture, food and drink, activities and experiences. The report also sets out how the glamping pod industry is in increasing demand. Within the Market Research report there are a number of other tourist accommodation options and glamping sites identified within the wider vicinity which shows that this area is an established location for tourist accommodation, given its location to tourist experiences. The proposal seeks to provide a form of luxury camping given each pod will have a private decking area and hot tub.
- 8.10** The application site is located off the A38 and will provide off road parking spaces. Further analysis on this element of the proposal will be discussed throughout the report. In principle, the site is well related to the primary road network and would be capable of accommodating the additional traffic in accordance with TOR3.
- 8.11** Policy E1 of the Twyning Neighbourhood Plan states that small scale development that is demonstrated to improve local employment opportunities will be permitted within or adjacent to outlying settlements.

#### Principle of development - conclusions

- 8.12** Therefore, when taken as a whole, in terms of its potential for economic and tourism related benefits, its location being within or adjacent to the rural settlement of Shuthonger, the principle of the development for 4no. glamping pods would be in accordance with policies set out within the NPPF, JCS (SD1), TBLP (TOR1, TOR2, TOR3) and Policy E1 of the TPNDP. Whilst the principle of development is considered to be acceptable, there are other material planning considerations that need to be considered as set out below.

#### ***Design and Visual Amenity***

- 8.13** Policy JCS Policy SD4 provides that new development should respond positively to, and respect the character of, the site and its surroundings, enhancing local distinctiveness, and addressing the urban structure and grain of the locality in terms of street pattern, layout, mass and form. It should be of a scale, type, density and materials appropriate to the site and its setting.

- 8.14** Policy TOR3 requires new glamping sites to be of a scale commensurate with the surrounding area. The number and size of any associated new buildings (i.e. toilet and washing facilities) shall be kept to a minimum.
- 8.15** The proposal seeks the introduction of 4no. glamping pods spread across the site with a reception building and sauna building located adjacent to the parking area. The reception would provide a base point of contact for guests and site staff and would also provide additional storage facilities for the site.
- 8.16** From the parking area, guests would reach their designated pod by following footpaths, constructed with a permeable material. The pods would be spaced out approx. 6m from one another and given generous distance to all boundaries. Existing and proposed trees and bushes (more detail provided in landscape section) provide ample screening around the site to help mask the travel of sound, new trees and shrubbery are proposed to enhance privacy. The pods are not crammed into the site have been strategically located to utilise less than 5% of the site area.
- 8.17** The pods would have a maximum height of 2.55m as shown on the submitted elevation drawings and would be constructed with timber. The pods would have 1no. double bed, a kitchen/living room and a shower/bathroom. The proposed reception hut would have a footprint of 14.8m<sup>2</sup> and a total height of 2.5m. The sauna would have a footprint of circa 10.5m<sup>2</sup> with a roof height of 2.3m. The sauna building has a chimney but the total height would not exceed 3m.
- 8.18** The application site is located to the rear of the properties which front onto the A38 and given the modest height of the pods and ancillary buildings, they will not be visible from public view along the A38. When viewed from the west, from Owls Lane, the pods would be viewed against the backdrop of the existing buildings and will be screened by suitable boundary treatment.
- 8.19** Overall, the pods and ancillary buildings are considered to be of a scale which are in keeping with the local area and they would not be highly visible from surrounding viewpoints in accordance with policies TOR1, TOR2, TOR3 of the TBLP and SD4 of the JCS.

### ***Landscape***

- 8.20** Policy SD6 of the JCS sets out development will seek to protect the landscape for its own intrinsic beauty and for its benefit to economic, environmental and social well-being.
- 8.21** Policy LAN 2 seeks for new development to not cause harm to features of the landscape character which are of significance, maintain the quality of the natural environmental and provide enhancement of landscape character. Policy TOR3 states that overriding protection will be afforded to the landscape in considering new or extended camping and caravanning sites, with the reasoned justification noting that when considering the impact of proposals on the landscape, special attention will be given to topography.
- 8.22** Policy GD4 of the TPNDP requires all new development to take every opportunity, through design and suitable landscaping, to reinforce local distinctiveness and enhance the biodiversity of the Parish.

- 8.23** As discussed within the design section, the pods are modest in scale with all buildings measuring no more than 3m in height. The existing site contains a number of trees along the southern boundary which would be retained. The proposed scheme will incorporate new hard and soft landscaping across the site as illustrated on the site layout plan.
- 8.24** The proposed parking turning area would consist of a permeable material along with the internal permeable surfaced path that will be installed to allow guests to access their pod from the car park. Further details on these materials are to be agreed via planning condition.
- 8.25** In relation to soft landscaping, new native hedgerows will be planted along the eastern and southern boundary of the site in order to provide additional screening. A wildflower meadow grassland would also be created within the central portion of the site. New hedgerows and tree planting would be provided adjacent to each pod in order to improve the visual attraction of the site and also provide a level of privacy of guests and neighbours. New shrubs and trees would be planted along the western boundary in order to screen the development from surrounding viewpoints.
- 8.26** The Council's landscape officer has reviewed the proposed site layout and landscaping plan and has no objections to the illustrated landscaping subject to conditions relating to further details of tree protection for existing trees and hard and soft landscaping.
- 8.27** Overall, the proposal would provide significant new landscaping features when compared to the existing site, thus improving the landscape setting. The new boundary treatment and planting would help secure the site and reduce and potential impact on residential amenity.

#### ***Impact on Heritage Assets***

- 8.28** The proposal site is potentially within the setting of Shuthonger House which is a Grade II Listed Building. It is also noted that application passes through, and is located to the rear of, Shuthonger Manor. The manor is not a listed building although the main element is a fine 18th/19th Century house. The house was heavily extended (possibly in 1970s) as part of a residential development which included the addition of two wings. Despite a dilution of the original character of the Manor it retains sufficient local historic merit to be considered a non-designated heritage asset.
- 8.29** As such when determining planning applications this authority has a duty under Section 66(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 to have regard to the desirability of preserving listed buildings and their settings. The proposal will also be assessed against section 16 of the NPPF, Policy SD8 of the JCS and Policy HER2 and HER5 of the emerging local plan (for which significant weight can be given).
- 8.30** It does not appear that there would be significant intervisibility between the rear of Shuthonger House and the development site. The rear of Shuthonger House does not appear to have been designed with any formal views or vistas to the rear and does not rely on any such views to contribute to its setting. There appears to be a tall garden wall separating most of the listed building from the site. As such it is not considered that the proposal would have a harmful impact upon the setting of the listed building.
- 8.31** The proposal would be visible from the rear of Shuthonger Manor and vehicle movements serving the site will pass through the modern archway passage through the building. The Conservation Officer has reviewed the proposal and does not believe the pods and increase in traffic movements would have an unduly harmful impact upon the heritage significance of Shuthonger Manor as a non-designated heritage asset.

**8.32** As such it is considered that the proposal would not conflict with Section 66(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990, Section 16 of the NPPF, Policy SD8 of the JCS and Policy HER2 and HER5 of the TBLP.

### ***Residential Amenity***

**8.33** JCS policies SD4 and SD14 require development to enhance comfort, convenience and enjoyment through assessment of the opportunities for light, privacy and external space. Development should have no detrimental impact on the amenity of existing or new residents or occupants.

**8.34** Policy GD6 of the TPNDP requires development proposal to demonstrate that they will not lead to unacceptable levels of noise, general disturbance, smell, fumes, loss of daylight, or sunlight, loss of privacy or have an overbearing effect on neighbouring properties.

**8.35** Given the modest height of the pods and ancillary buildings, they would not lead to a loss of daylight/sunlight reaching neighbouring dwellings or private amenity spaces.

**8.36** The layout as originally submitted was considered to be unacceptable by the Environmental Health Officer (EHO) and the case officer due to potential noise disturbance to neighbouring properties to the south of the site. However, following discussions with the EHO and case officer, amended plans were received which moved the pods further from the nearest properties. Pod 4 is the closest pod to any residential property and now has a separation distance of circa 25m to Haulfryn. Pod 4 would have a separation distance of 60m to Shuthonger House and Pod 1 would have a separation distance of 50m to Shuthonger Manor.

**8.37** The applicant has also provided a Noise Management Plan (NMP) in support of the application. The objectives of the NMP are to:

1. Avoid or minimise noise impact
2. Implement appropriate steps to minimise the impact where possible
3. Review and monitor the plan for effectiveness in minimising noise

**8.38** Under the avoid section, the pods are highly insulated to withstand temperatures of -25 degrees Celsius, cabins are designed for 2 people per cabin and group bookings would not be accepted. In addition, the owners reside at the Coach House and do not wish to experience noise disturbance themselves.

**8.39** By way of minimising noise, guests would be required to agree with the terms and conditions as part of the booking process. A welcome pack would be provided to each booking providing details as follows:

- No noise after 2200 or before 0700
- Alcohol should only be consumed within the cabin boundary
- Guests staying should not exceed the booking agreement
- Vehicles must not be moved between 2300 and 0700 unless in an emergency
- No new arrivals outside 0700-2200
- No amplified music to be played outside of the cabin outside the hours 0900-2100.

- 8.40** By way of monitoring, the site owners name and contact number would be published on a dedicated website for any neighbours to raise concerns with noise or disturbance.
- 8.41** As shown on the site layout plan, each pod would have a dedicated hot tub and the following rules will be put in place:
- No alcohol is to be consumed when using the hot tub
  - No glass or bottles should be used in the hot tub
  - No more than a maximum of 4 people are permitted in a hot tub at any one time
  - Hot tubs should only be used between the hours of 0700 and 2200.
- 8.42** A condition will be added to any permission to ensure the NMP plan adhered too.
- 8.43** The updated layout plan also provided more screening of the pods by way of new hedges and trees to be planted as detailed within the landscaping section. The new boundary treatment, planting around each pod and the positioning of the pods to face west, away from the neighbouring properties, would ensure there is no loss of privacy or overlooking as a result of the development.
- 8.44** The proposal incorporates a lighting scheme with the insertion of 4no. low level lighting bollards to be installed across the site. The lighting spread has been shown as 5m and the bulbs are low level height at 40cm high, bulbs installed to shine downwards and are sensor triggered to ensure they are on only when needed. The level of lighting provided is considered to be minimal whilst ensuring the safety of guests using the sight. The EHO has no objections to the proposed lighting detail.
- 8.45** Following the receipt of amended plans to increase separation distances, the insertion of new boundary planting, updates to the NMP and a no objection response from the EHO, officers are of the opinion that the proposed development is in accordance with policies SD4 and SD14 of the JCS and Policy GD6 of the TPNDP

### ***Biodiversity***

- 8.46** Policy SD9, Biodiversity and Geodiversity, of the JCS encourages all new development to contribute positively to biodiversity and geodiversity whilst linking with wider networks of green infrastructure. For example, by incorporating habitat features into the design to assist in the creation and enhancement of wildlife corridors and ecological stepping stones between sites.
- 8.47** Policy NAT1, Biodiversity, Geodiversity and Important Natural Features, of the TBLP requires proposals to deliver a biodiversity net gain across local and landscape scales, including designing wildlife into development proposals.
- 8.48** The application is accompanied by a Preliminary Ecological Appraisal (PEA) prepared by Abricon Ltd. The PEA reports that the site consists of improved grassland grazed short by horses with scattered trees. The trees would all be retained, so there would be no impacts on roosting bats in the unlikely event that roosts are present. The proposed lighting scheme would avoid impacts on foraging bats.
- 8.49** The PEA has been reviewed by the Council's Ecologist who has no objection to the enhancement and mitigation measures as proposed in the PEA in relation to Great Crested Newts, Birds, Bats, Badgers and Hedgehogs. A wildflower meadow grassland is proposed within the site and native hedgerows would be planted along the eastern and southern boundary. Further enhancements are provided by the addition of a bat and bird box.

- 8.50** Appropriately worded conditions would be attached to any permission to ensure the mitigation measures as set out within the PEA are implemented.

### ***Drainage and Flood Risk***

- 8.51** Policy INF 2, Flood Risk Management, of the JCS explains how development should minimise the risk of flooding, contribute to a reduction in existing flood risk, apply a sequential test for assessment of applications giving priority to land in Flood Zone 1, incorporate suitable Sustainable Drainage Systems (SuDS) where appropriate in the view of the local authority to manage surface water drainage: to avoid any increase in discharge into the public sewer system; to ensure that flood risk is not increased on-site or elsewhere; and to protect the quality of the receiving watercourse and groundwater.
- 8.52** Policy ENV 2, Flood Risk and Water Management, of the TBLP requires all proposals to incorporate sustainable drainage systems where appropriate and proportionate to the scale and nature of development proposed.
- 8.53** As confirmed by the Environmental Agency's Flood Map for Planning, the site is located within Flood Zone 1 and therefore at the lowest risk of flooding and appropriate for new residential development.
- 8.54** All surface and foul water on site would be controlled via a water treatment plant, with no connection to any public sewers. The drainage officer has reviewed the proposal and agrees with it in principle, subject to detailed conditions.
- 8.55** The proposed location of the parking/turning area and reception area would be crossing existing Severn Trent mains. Severn Trent have reviewed the proposal and confirm they have no objection to the turning area provided the ground levels are not reduced significantly and the reception location is also acceptable provided there are no amendments to the concrete base.

### ***Access and Highway Safety***

- 8.56** Policy INF1 'Transport Network' states that developers should provide safe and accessible connections to the transport network to enable travel choice for residents and commuters. Policy TOR3 specifies that all caravan and camping proposals must be well related to the primary road network and any local roads involved in gaining access to the site should be capable of accommodating the extra traffic generated without undue hazard or inconvenience to local residents or other road users.
- 8.57** Policy TP1 of the TPNDP states that development would only be permitted where it would not cause a severe adverse traffic impact and increase in the volume of traffic within Twyning Parish that cannot be acceptably mitigated, particularly where the road network is narrow and pedestrian facilities inadequate.
- 8.58** From the A38, the glamping site vehicular access would follow a short existing track to reach the parking and turning area. The parking area would accommodate for one parking space per pod, one of which would be an electric vehicle charging point.

- 8.59** Objections have been raised from neighbours and the Parish Council in relation to access and potential damage to the archway. The applicant has reviewed these comments and provided the following rebuttal:

*“The existing access will be utilised to guide guests to a new parking/turning area at the site. The applicant has controlling ownership of this area and each house associated is limited to the number of cars parked here for safety reasons. The archway through the houses must remain clear at all times, this has always been a rule. There are also two access points for these dwellings which will further accommodate the additional cars associated with this development.”*

- 8.60** The Council have reviewed the access through the archway and have no objection or concerns about its use. The archway should remain clear at all times and any damage caused to the archway by any vehicle using the archway would be dealt with as a civil matter.
- 8.61** The Highway Authority has undertaken a robust assessment of the planning application. Based on the analysis of the information submitted the Highway Authority concludes that there would not be an unacceptable impact on Highway Safety or a severe impact on congestion. There are no justifiable grounds on which an objection could be maintained.

## **9. Conclusion**

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- 9.1** Section 38(6) of the Town and Country Planning Act 1990 provides that, if regard is to be had to the development plan, the determination must be made in accordance with the development plan unless other material circumstances indicate otherwise. Section 70 (2) of the Act provides that the Local Planning Authority shall have regard to the provisions of the development plan, so far as material to the application, and to any other material considerations.
- 9.2** The proposed development is located adjacent to the rural settlement of Shuthonger and provides potential economic and tourism related benefits to the area. The design of the glamping pods and ancillary buildings are considered to be appropriate for their setting ensuring there would be no harm to the nearby listed building. Following the receipt of amended plans, the pod layout is considered to be appropriate and subject to details within the NMP the proposal would not have an adverse impact on the amenity of neighbouring residents. The proposal would be served by a safe and suitable access and the residual cumulative impact on the highway would not be severe.
- 9.3** It is therefore considered that the proposed development would constitute sustainable development in the context of the NPPF, the Joint Core Strategy, the Tewkesbury Borough Plan and the Twyning Parish Neighbourhood Development Plan as a whole and it is therefore recommended that the grant of planning permission be permitted.

## **10. Recommendation**

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- 10.1** It is considered that the scheme as amended and subject to compliance with conditions would result in a high-quality development which would have an acceptable impact on neighbouring amenity, the character of the area and would comply with relevant policies in the plan. It is therefore recommended that application is **PERMITTED** to any planning conditions.

## 11. Conditions

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- 1 The works hereby permitted shall be begun before the expiration of three years from the date of this consent.

Reason: Required to be imposed by Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

- 2 The development hereby permitted shall be carried out in accordance with the following approved documents:

- L210711-01-00 – Aerial View
- 210711-01-01- Location Plan
- 210711-01-02- Rev E – Layout Plan A1
- 210711-01-04 – Rev D – Drainage Plan A1
- 210711-01-05 – Pod Elevations
- 210711-01-06 – Road and Access plan
- 210711-01-07 – Rev C – Landscaping Plan A2 (Illustrative only)
- 210711-01-08 – Rev B – Lighting Plan A1
- 210711-01-09 – Artist Impressions (Illustrative Only)
- 210711-01-10 – Reception Hut elevations
- 210711-01-11 – Sauna Elevations
- 210711-01-12 – Existing layout plan
- 210711- Market Research
- 210711- Rev A – Design and Access Statement
- 210711- Landscaping plan & Maintenance Plan
- Rev A – Noise Management Plan v1.2
- 

except where these may be modified by any other conditions attached to this permission.

Reason: To ensure that the development is carried out in accordance with the approved plans

- 3 The glamping pods and ancillary buildings hereby permitted shall be clad in timber and shall remain unstained to weather naturally.

Reason: To ensure that materials provide for high quality design.

- 4 No development shall commence until a detailed design, maintenance and management strategy and timetable of implementation for the surface water and foul water drainage strategy is provided to show how water will be controlled on site via a Water Treatment Plant (WTP). Runoff and wastewater calculations to support the WTP should be provided, as well as geological background including soil percolation tests to BRE365 to show site can be drained for both foul and surface water without causing pollution and/or flooding on site and neighbouring properties.

The submitted details must demonstrate the technical feasibility and viability of the proposed drainage system through the use of SuDS to manage the flood risk to the site and elsewhere and the measures taken to manage the water quality for the lifetime of the development. The scheme for the surface and foul water drainage shall be implemented in accordance with the approved details and timetable and shall be fully operational before the development is first put in to use/occupied.



Reason: To ensure the development is provided with a satisfactory means of drainage and thereby reducing the risk of flooding. It is important that these details are agreed prior to the commencement of development as any works on site could have implications for drainage, flood risk and water quality in the locality.

- 5** No development shall start until there has been submitted to and approved in writing by the Local Planning Authority a comprehensive scheme of hard and soft landscaping, which shall include details of all permeable hard surfaces, indications of all existing trees (including spread and species) and hedgerows on the land and details of any to be retained together with measures for their protection during the course of development. The scheme shall also include, amongst other things, full details of proposed tree/hedgerow/shrub planting, the location, species and sizes, planting specifications, maintenance schedule, provision for guards or other protective measures. The details shall include the tree pit design and location, type, and materials to be used for hard landscaping including specifications, and full details of any proposed boundary treatments.

All planting, seeding, or turfing in the approved details of landscaping for the development shall be carried out in accordance with the approved details in the first planting season following the completion or first occupation/use of the development, whichever is the sooner. The planting shall be maintained in accordance with the approved schedule of maintenance. Any trees or plants which, within a period of five years from the completion of the planting, die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species.

Reason: To ensure adequate provision for trees/hedgerows and landscaping in the interests of visual amenity and the character and appearance of the area.

- 6** No removal of trees/scrub/hedgerows shall be carried out on site between 1st March and 31st August inclusive in any year, unless otherwise approved in writing by the Local Planning Authority.

Reason: In the interests of protected species to ensure that the nature conservation interest of the site is protected.

- 7** The development hereby permitted shall be carried out in accordance with the mitigation and enhancement recommendations, and external lighting scheme, included within the Preliminary Ecological Assessment (Abricon Ltd Mar22 v1.0) prior to the occupation/first use of the development and retained thereafter.

Reason: To ensure the development contributes to the conservation and enhancement of biodiversity within the site and wider area.

- 8** The holiday let/tourist accommodation hereby approved shall be occupied for holiday purposes only and shall not be occupied by a person or persons' sole, or main place of residence.

Reason: The proposed unit/visitor accommodation would be situated in the open countryside, outside any defined settlement boundary where new residential development will be strictly controlled. The proposed unit/accommodation is only acceptable as a holiday let/ tourism development.

- 9 The owners/operators of the holiday let unit/visitor accommodation hereby approved shall maintain an up-to-date register of the names of all occupiers of the unit/accommodation. This register shall be made available within 1 calendar month of a written request by the Local Planning Authority.

Reason: The proposed unit/visitor accommodation would be situated in the open countryside, outside any defined settlement boundary where new residential development will be strictly controlled. The proposed unit/accommodation is only acceptable as a holiday let/ tourism development.

- 10 An electric vehicle infrastructure strategy and implementation plan shall be submitted to and approved in writing by the Local Planning Authority prior to the first use/occupation of any building hereby permitted. The plan shall contain details of the number and location of all electric vehicle charging points shall comply with BS EN 62196 Mode 3 or 4 charging and BS EN 61851, and Manual for Gloucestershire Streets. Buildings and parking spaces that are to be provided with charging points shall not be brought into use until associated charging points are installed in strict accordance with approved details and are operational. The charging point installed shall be retained thereafter unless replaced or upgraded to an equal or higher specification.

Reason: To promote sustainable travel and healthy communities.

- 11 The development hereby permitted shall be carried out in accordance with the Noise Management Plan by way of avoiding, minimising and monitoring noise at the site.

Reason: To ensure that the proposed development integrates with its setting in the interests of residential amenity

## 12. Informatives

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- 1 In accordance with the requirements of the NPPF the Local Planning Authority has sought to determine the application in a positive and proactive manner by offering pre-application advice, publishing guidance to assist the applicant, and publishing the to the Council's website relevant information received during the consideration of the application thus enabling the applicant to be kept informed as to how the case was proceeding.
- 2 The applicant should be advised that, if permission is granted for the development, the site/caravan/mobile home will require licensing under the provisions of The Caravan Sites and Control of Development Act 1960 /Section 269 of The Public Health Act 1936. Further information regarding Caravan Site Licensing, application forms and details of fees (where applicable) can be found at Caravan and mobile homes site licensing — Tewkesbury Borough Council.  
Advice and further details are available on request to [ehenquiries@tewkesbury.gov.uk](mailto:ehenquiries@tewkesbury.gov.uk) or telephone 01684 295010

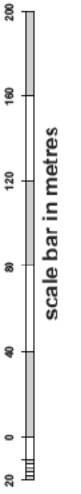
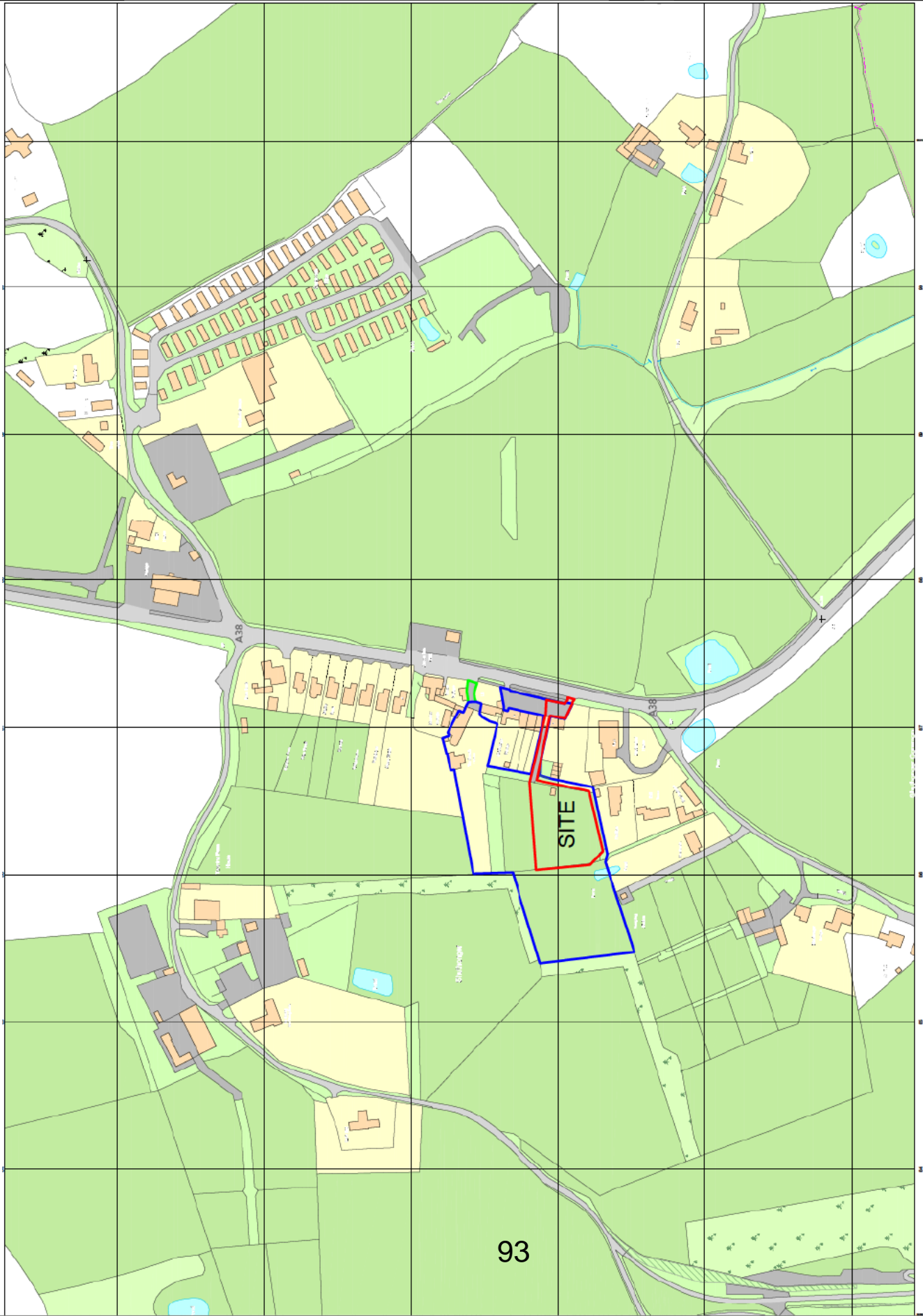
- 3 There is a public right of way to the rear of the development, the applicant will be required to contact the PROW team to arrange for an official diversion, if the applicant cannot guarantee the safety of the path users during the construction phase then they must apply to the PROW department on 08000 514514 or [highways@gloucestershire.gov.uk](mailto:highways@gloucestershire.gov.uk) to arrange a temporary closure of the right of way for the duration of any works. We advise you to seek your own independent legal advice on the use of the public right of way for vehicular traffic. The site is traversed by a public right of way and this permission does not authorise additional use by motor vehicles, or obstruction, or diversion.

Rev	By	Date	Description

Project: Proposed Clamping Site, For  
 The Coach Road at Highgate, near  
 Gloucestershire, GL28 8EP  
 Drawing Title: LOCATION PLAN

Drawing Number:  
**210711-01-01**

Revision: 16.09.21  
 Date: 16.09.21  
 Scale: 1:1500 @ A1  
 Drawn By: JA  
 CAD Draw File:  
 Arch. Base Draw:  
 Issue Status:



- SHARED ACCESS
- OWNERSHIP BOUNDARY
- SITE BOUNDARY



KEY TO SYMBOLS



EXISTING TREES



EXISTING FENCE

NOTE : Please do not scale from this key.

Rev	Description	Date



Project: Proposed Clamping Site - For The Coach Hire Company, Newcastle, Gloucestershire, GL2 8EP  
 Drawing Title: EXISTING SITE PLAN

Drawing Number: **210711-01-12**

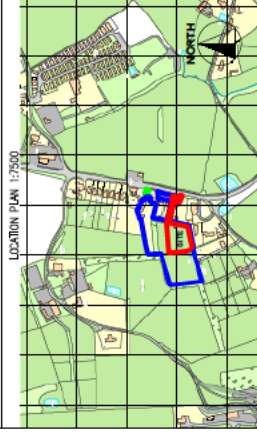
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 Date: 1:00 @ A1  
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- OWNERSHIP BOUNDARY
- SITE BOUNDARY



Date	Description	Rev	By
<b>Revision Description</b>			

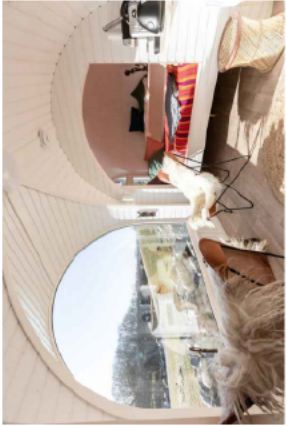
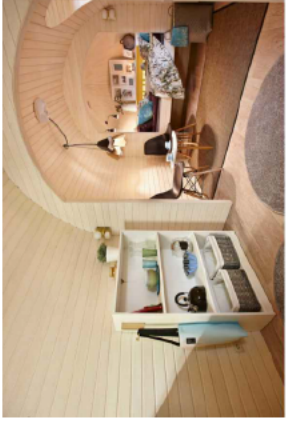


**Project:**  
 Proposed Glamping Site - For  
 The Coach House, Shurthonger, Tewkesbury,  
 Gloucestershire, GL20 6EF

**Drawing Title:**  
 POD ELEVATIONS

**Drawing Number:**  
 210711-01-05

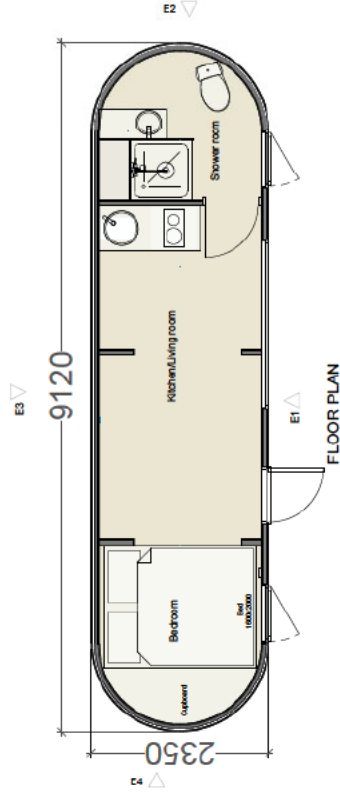
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**CAD Dwg File:** -  
**Arch. Base Dwg:** -



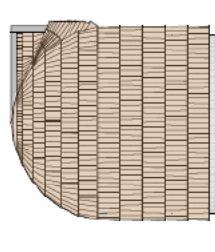
Interior of proposed pods.



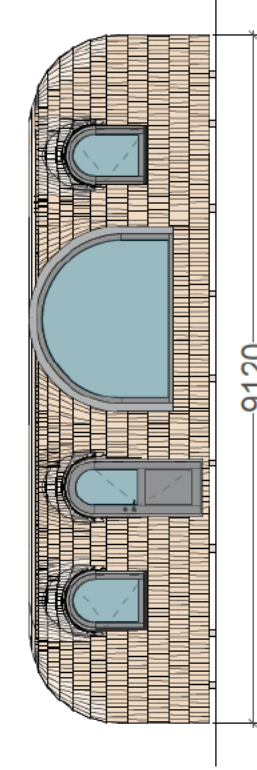
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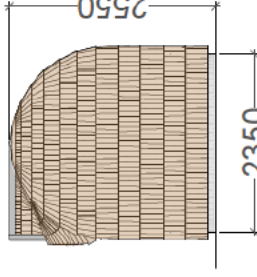
FLOOR PLAN



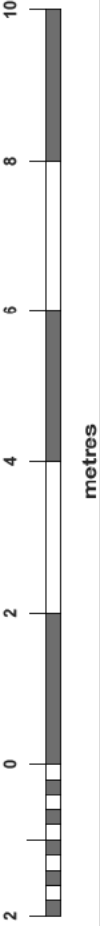
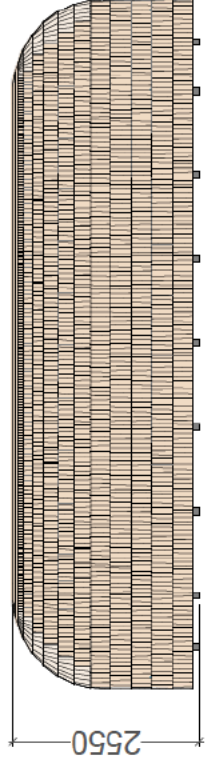
E4 SIDE ELEVATION



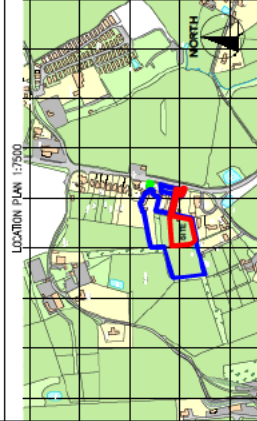
E1 FRONT ELEVATION



E2 SIDE ELEVATION



Date	Description	Rev	By
	<b>Revision Description</b>		



**Project:**  
 Proposed Glamping Site - For  
 The Coach House, Shuthonger, Tewkesbury,  
 Gloucestershire, GL20 6EF

**Drawing Title:**  
 ROAD AND ACCESS PLAN

**Drawing Number:**  
 210711-01-06

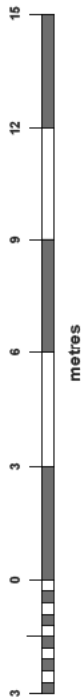
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**CAD Dwg File:** -  
**Arch. Base Dwg:** -



View 2 - Access to site.



View 1 - Access from main road.

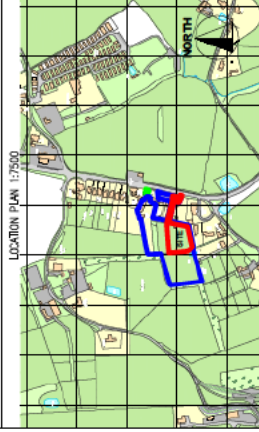


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- SITE BOUNDARY



Date	Description	Rev	By
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**Revision Description**



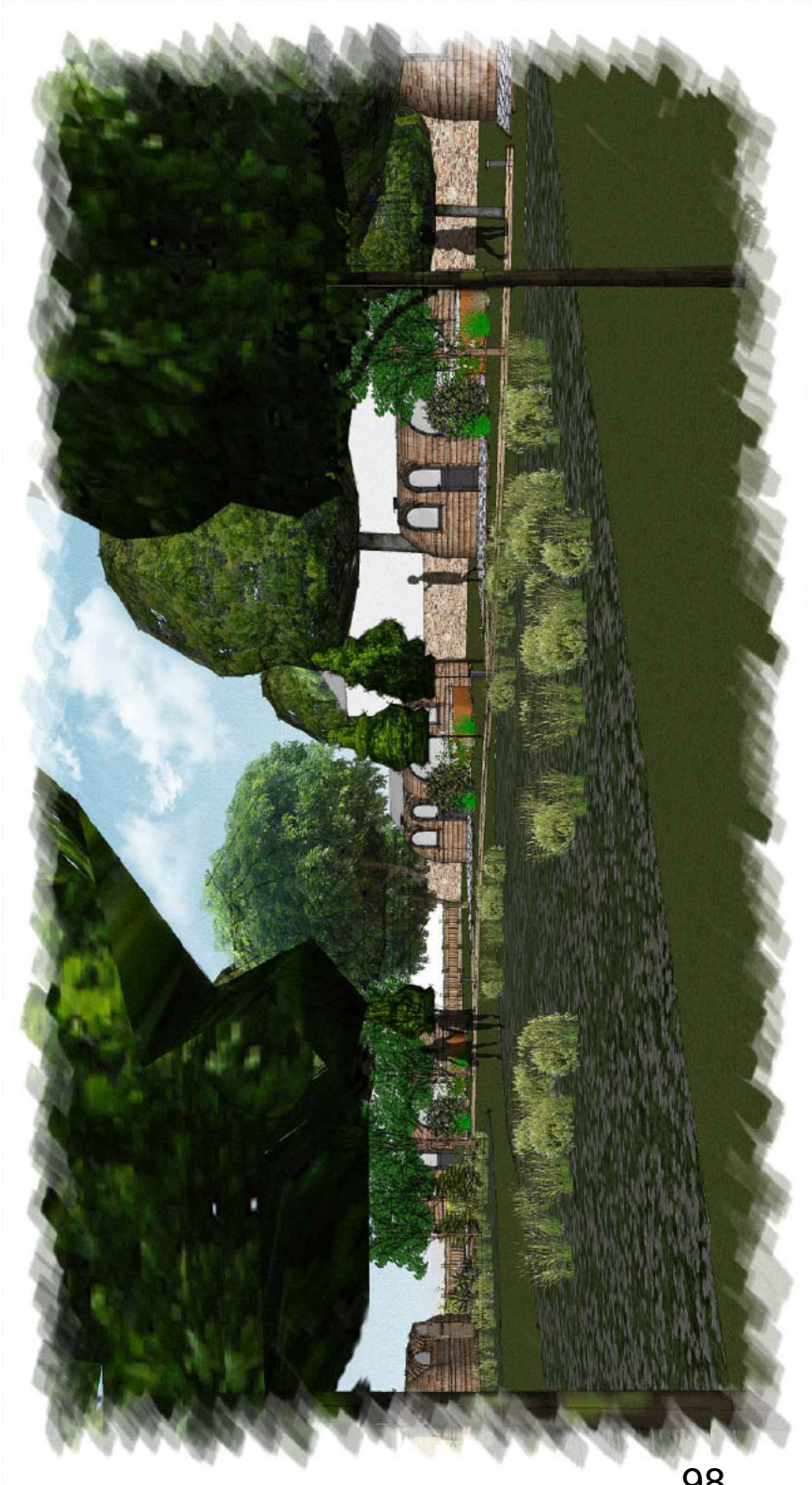
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 Proposed Glamping Site - For [Redacted]  
 The Coach House, Shuthonger, Tewkesbury,  
 Gloucestershire, GL20 6EF

**Drawing Title:**  
 ARTIST IMPRESSIONS

**Drawing Number:**  
 210711-01-09

**Revision:** -  
**Date:** 12-10-21  
**Scale:** 1:50 @ A2  
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**CAD Dwg File:** -  
**Arch. Base Dwg:** -

**Issue Status:**



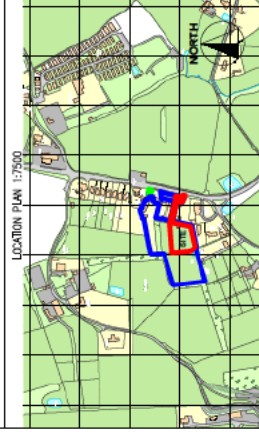


**Features:**

- Insulated Floor & Roof as Standard
- 62mm Insulated Wall, equivalent to 140mm U-Value
- Toughened Glass
- Multi-Point Window Locking
- All Spruce
- Pressure Treated Floor Bearers as Standard
- Full Length Insulated Logs, Not Mixed or Finger Jointed

Date	Description	Rev	By
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**Revision Description**



**Project:**  
 Proposed Glamping Site - Fo  
 The Coach House, Shuthonger, Tewkesbury,  
 Gloucestershire, GL20 6EF

**Drawing Title:**  
 RECEPTION HUT ELEVATIONS

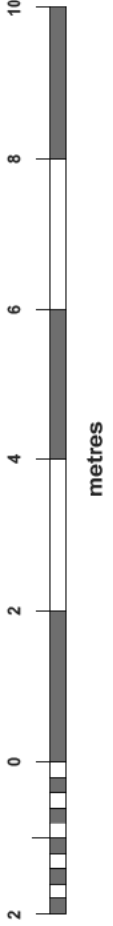
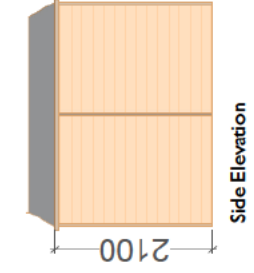
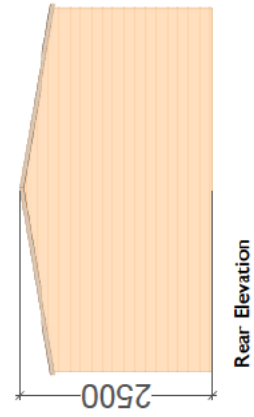
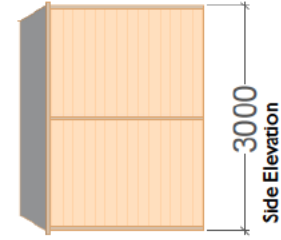
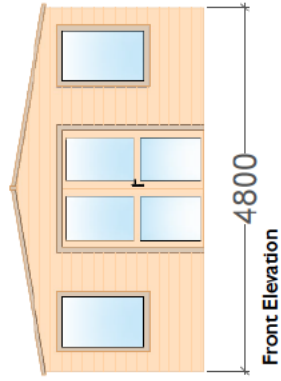
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<b>Revision:</b>	-
<b>Date:</b>	30-08-21
<b>Scale:</b>	1:50 @ A2
<b>Drawn By:</b>	TA
<b>CAD Dwg File:</b>	-
<b>Arch. Base Dwg:</b>	-

**Issue Status:**



Exterior of proposed reception hut.





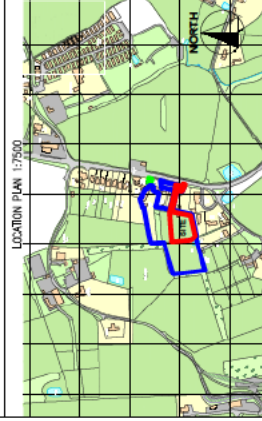
Exterior view of Sauna.



Interior of proposed sauna.



Date	Description	Rev	By
	<b>Revision Description</b>		

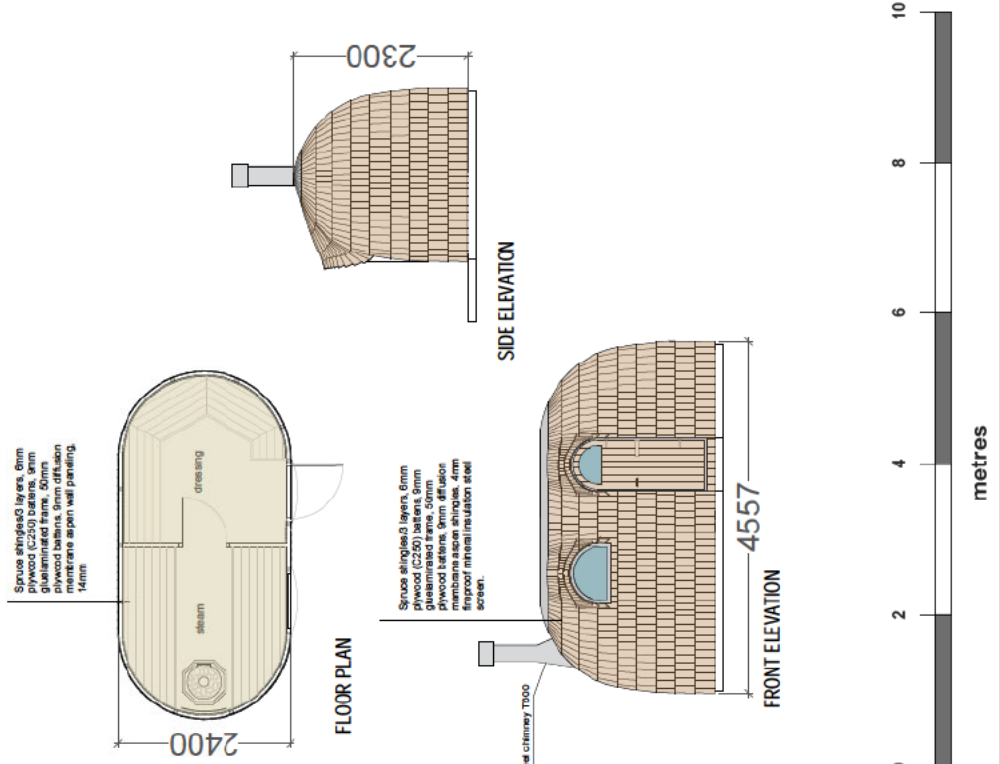


**Project:**  
Proposed Glamping Site - For  
The Coach House, Shuthonger, Tewkesbury,  
Gloucestershire, GL20 6EF

**Drawing Title:**  
SAUNA ELEVATIONS

**Drawing Number:**  
210711-01-11

**Revision:** -  
**Date:** 30-08-21  
**Scale:** 1:50 @ A2  
**Drawn By:** TA  
**CAD Dwg File:** -  
**Arch. Base Dwg:** -





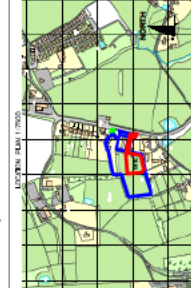
**KEY TO SYMBOLS**

- EXISTING MAINS DRAINAGE RUN
- DRAINAGE RUN
- INSPECTION CHAMBER
- SAMPLE CHAMBER
- WATER TREATMENT PLANT
- SOAKAWAY
- DIRECTION OF FLOW
- DRAINAGE RUN FOR HOT TUB
- INSPECTION CHAMBER

**DRAINAGE NOTES**

- FALLS FOR FOUL WATER: 1:10 MAX FALL: 150 MIN FALL
- NEW DRAINAGE RUNS TO BE CONNECTED TO EXISTING MAINS SEWAGE RUNS.

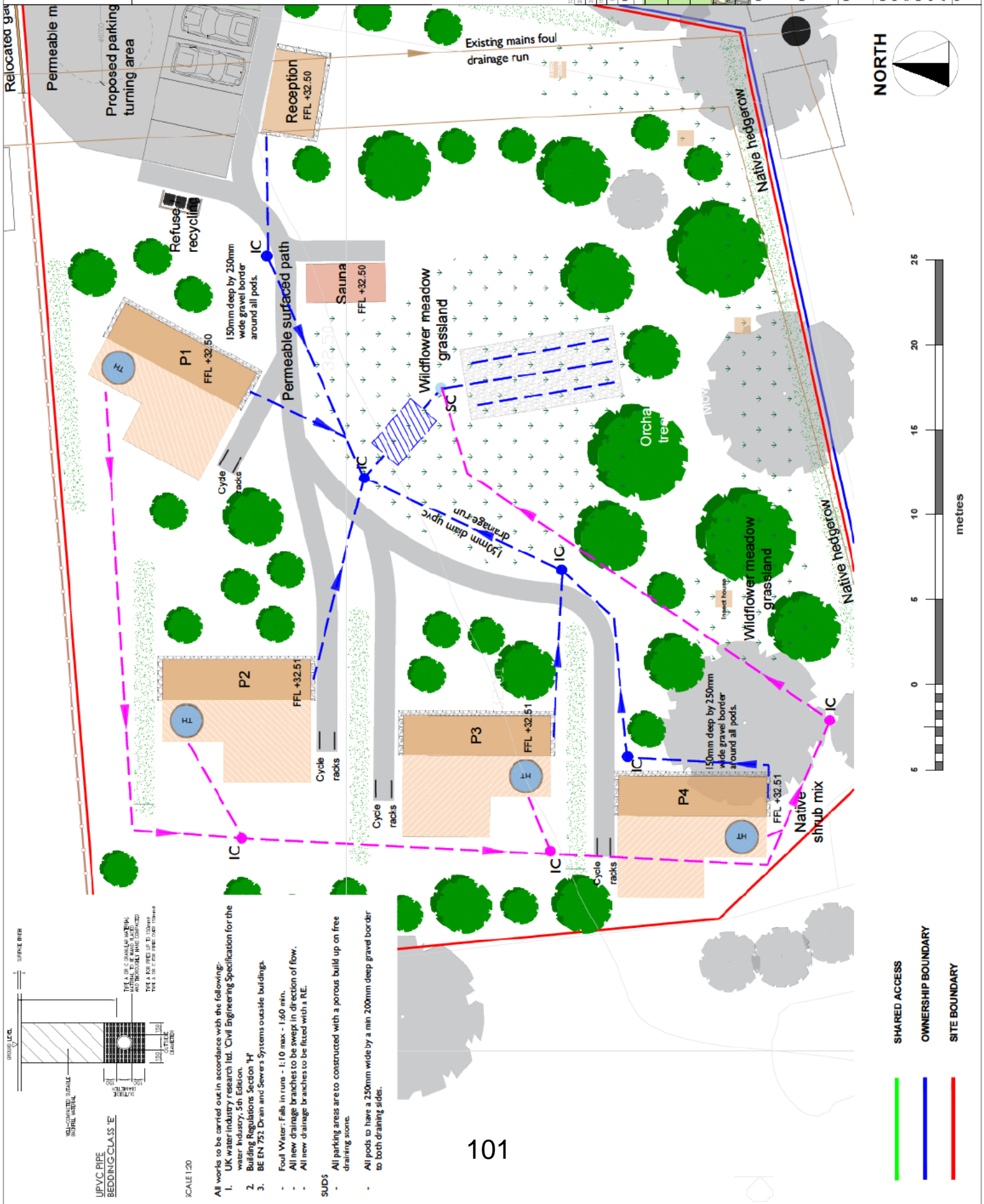
Date	Description	Rev	By
12/02/23	New site drainage scheme	0	TA
16/03/23	New photo drainage scheme	1	JA
22/02/23	Revised drainage scheme	2	TA
02/03/23	Revised drainage scheme	3	TA
02/03/23	Revised drainage scheme	4	TA



Project: Proposed Clamping Site For The Coach House at 1000 High Street, Gloucestershire, GL2 8EF  
Drawing Title: PROPOSED DRAINAGE PLAN

Drawing Number: **210711-01-04**

Revision	Date	Scale	Drawn By	CAD Draw File	Arch. Base Draw	Issue Status
0	16-09-21	1:100 @ A1	JA			



**UPVC PIPE BEDDING CLASS 'E'**

SCALE 1:20

All works to be carried out in accordance with the following:

- UK water industry research Ltd. 'Civil Engineering Specification for the water industry, 5th Edition.
- Building Regulations Section 'H'
- BE EN 752 Drain and Sewer's Systems outside buildings.

- Foul Water: Falls in runs - 1:10 max - 1:60 min.
- All new drainage branches to be swept in direction of flow.
- All new drainage branches to be fitted with a RE.

**SUDS**

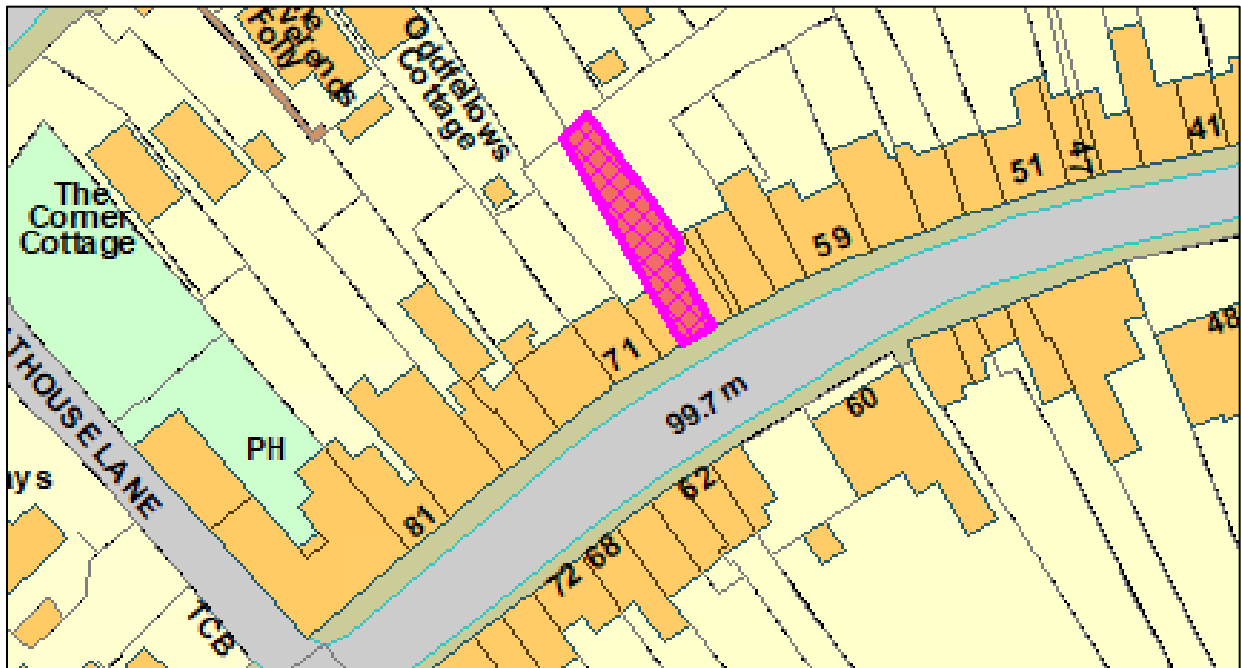
- All parking areas are to be constructed with a porous build up on free draining stone.
- All pods to have a 250mm wide by a min 200mm deep gravel border to both draining sides.

- SHARED ACCESS
- OWNERSHIP BOUNDARY
- SITE BOUNDARY

## Planning Committee

<b>Date</b>	18 July 2023
<b>Case Officer</b>	Chloe Buckingham
<b>Application No.</b>	23/00111/FUL
<b>Site Location</b>	Wisteria Cottage 67 Gloucester Street Winchcombe
<b>Proposal</b>	Erection of a single storey rear extension.
<b>Ward</b>	Winchcombe
<b>Parish</b>	Winchcombe
<b>Appendices</b>	Location Plan Proposed Block Plan Existing Plans and Elevations Proposed Plans and Elevations
<b>Reason for Referral to Committee</b>	Parish Council Objection
<b>Recommendation</b>	Permit

### Site Location



## 1. The Proposal

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Full application details are available to view online at:  
<https://publicaccess.tewkesbury.gov.uk/online-applications>

- 1.1 The application seeks full planning permission for the erection of a new single storey rear extension. The extension would infill the side of the existing single storey extension and will be level with the rear of the existing single storey extension. The rear wall of the extension would be re-built and the wall raised in height from 2.7m to 3m.

## 2. Site Description

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- 2.1 Wisteria Cottage 67 Gloucester Street is a Grade II listed, mid-terrace building located within the Winchcombe Conservation Area and located amongst numerous other Listed Buildings. The site is also within the Cotswolds AONB.

## 3. Relevant Planning History

Application Number	Proposal	Decision	Decision Date
75/00256/FUL	Internal alterations and extension to existing dwelling house to provide kitchen/dining room.	PERMIT	20.05.1975

## 4. Consultation Responses

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Full copies of all the consultation responses are available online at  
<https://publicaccess.tewkesbury.gov.uk/online-applications/>.

- 4.1 **Winchcombe Town Council** - Objection - the revised single-storey extension, as proposed, would be significantly negatively impacting on neighbours, with the box like design, which would deny daylight and enjoyment of their gardens.
- 4.2 **Conservation Officer** – No objection subject to 2 conditions.
- 4.3 **Building Control**- The application will require Building Regulations approval.

## 5. Third Party Comments/Observations

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Full copies of all the representation responses are available online at  
<https://publicaccess.tewkesbury.gov.uk/online-applications/>.

**5.1** Neighbour notifications were posted, and a consultation period of 21 days was carried out and 3 objection comments were received in relation to the two-storey rear extension. The main points being:

- Drastic reduction in light to no.65's kitchen window and removal of sunlight to the dining room and bedroom.
- The existing single storey extension on 67 has a flat roof with a parapet surrounding it and there has no drainpipes on top of no.65. By making a new flat roof and a sloping roof, no.65 will be getting the rainwater draining into the garden, which with no sunlight would remain permanently wet.
- significant effect on privacy for no.69, with regard to the position of the extension being right up against the boundary line, thus also causing a complete overshadowing of the kitchen window and also a significant overshadowing of the bedroom window.
- Unsympathetic design with regard towards the overall character and appearance of all the buildings in the row of houses which have a unique character which should be preserved.

During the course of the application revised plans were received changing the scheme to a single storey rear extension. Neighbour notifications were posted, and a consultation period of 14 days was carried out, and no further comments were received.

## **6. Relevant Planning Policies and Considerations**

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### **6.1 Statutory Duty**

Planning law requires that applications for planning permission must be determined in accordance with the Development Plan unless material considerations indicate otherwise.

Planning (Listed Buildings and Conservation Areas) Act 1990 – Section 66 of the Act prescribes a general duty that, in considering whether to grant planning permission, special attention be given to the desirability of preserving a listed building or its setting or any features of special architectural or historic interest which it possesses.

The following planning guidance and policies are relevant to the consideration of this application:

### **6.2 National guidance**

National Planning Policy Framework (NPPF) and the National Planning Practice Guidance (NPPG).

**6.3** Gloucester, Cheltenham and Tewkesbury Joint Core Strategy (JCS) – Adopted 11 December 2017

SD4 (Design Requirements)  
SD6 (Landscape)  
SD7 (Cotswolds AONB)  
SD8 (Historic Environment)  
SD10 (Residential Development)  
SD14 (Health and Environmental Quality)  
INF1 (Transport Network)

**6.4** Tewkesbury Borough Local Plan to 2011-2031 (TBLP) – Adopted 8 June 2022

RES10 (Alteration and Extension of Existing Dwellings)  
HER1 (Conservation Areas)  
HER2 (Listed Buildings)  
ENV2 (Flood Risk and Water Management)  
TRAC9 (Parking Provision)  
COM4 (Neighbourhood Development Plans)  
LAN2 (Landscape Character)

**6.5** Neighbourhood Plan; Winchcombe and Sudeley Neighbourhood Development Plan 2011-2031

1.1 Protecting the Distinctive Character of the Area  
5.3 Winchcombe Conservation Area  
5.5 Extensions and alterations to existing buildings

**7. Policy Context**

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**7.1** Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that proposals be determined in accordance with the Development Plan unless material considerations indicate otherwise. Section 70 (2) of the Town and Country Planning Act 1990 provides that the Local Planning Authority shall have regard to the provisions of the Development Plan, so far as material to the application, and to any other material considerations.

**7.2** The Development Plan currently comprises the Joint Core Strategy (JCS) (2017), the Tewkesbury Borough Local Plan to 2011-2031 (June 2022) (TBLP), and a number of 'made' Neighbourhood Development Plans.

**7.3** The relevant policies are set out in the appropriate sections of this report.

**7.4** Other material policy considerations include national planning guidance contained within the National Planning Policy Framework 2021 and its associated Planning Practice Guidance (PPG), the National Design Guide (NDG) and National Model Design Code.



## **8. Evaluation**

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### ***Design and Visual Amenity***

- 8.1** Paragraph 126 of the NPPF states that the creation of high quality, beautiful and sustainable buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.
- 8.2** Paragraph 130 of the NPPF states that planning policies and decisions should ensure that developments (amongst other criteria):
- (a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;
  - (b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;
  - (c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities).
- 8.3** JCS Policy SD4 provides that new development should respond positively to, and respect the character of, the site and its surroundings, enhancing local distinctiveness, and addressing the urban structure and grain of the locality in terms of street pattern, layout, mass and form. It should be of a scale, type, density and materials appropriate to the site and its setting.
- 8.4** Policy SD8 of the JCS states that: Development should make a positive contribution to local character and distinctiveness, having regard to valued and distinctive elements of the historic environment. The policy also states that: Designated and undesignated heritage assets and their settings will be conserved and enhanced as appropriate to their significance, and for their important contribution to local character, distinctiveness and sense of place.
- 8.5** Policy HER1 of the TBLP states that proposals for development in or within the setting of conservation area will need to have particular regard to the potential impact on its character and setting. New development will be expected to preserve or enhance the character and appearance of conservation areas through high quality design and use of appropriate materials. Proposals will be required to demonstrate a thorough understanding of the significance, character and setting of conservation areas and how this has informed proposals, to achieve high quality new design which is respectful of historic interest and local character.

- 8.6** Policy RES10 states that proposals for the extension and alteration of existing dwellings, and the erection of domestic outbuildings and annexes, will be permitted providing that (amongst other criteria):
1. The detailed design reflects or complements the design and materials of the existing dwelling
  2. The scale of the proposal is appropriate to the character and appearance of the existing dwelling and its surrounding area
  5. The proposal respects the character and appearance of surrounding development
- 8.7** Policy 5.1 of the Neighbourhood Plan states that development should reflect the character of its surroundings. Where appropriate, planning applications will need to demonstrate an understanding of those qualities and features that make up this character and show how their proposals will respect and complement what is already there. The design of new development will be expected to: a. Complement and enhance, where appropriate, the prevailing size, height, scale, materials, layout, density and access of any surrounding development; b. Demonstrate that the amenities of neighbouring residential occupiers are not unduly affected through overlooking, loss of light, over-dominance or disturbance; and c. Provide landscaping, where necessary, to complement and enhance the characteristics of the surrounding area.
- 8.8** Policy 5.5 of the Neighbourhood Plan states that proposed extensions and alterations should normally be: a. subservient in size and scale to the existing “host” building; b. constructed of complementary materials; and c. while possibly innovative or modern, nevertheless reasonably accord with the character and appearance of nearby existing buildings. New roofs are to be pitched unless this is out of character with the existing roofscape of the immediate area, or where a flat roof would complement or enhance the character of the original or nearby building.
- 8.9** The property is grade II listed and is also within the Winchcombe Conservation Area. As such when determining planning applications this authority has a duty under Section 72(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 to have regard to the desirability of preserving or enhancing the character or appearance of the area.
- 8.10** The original scheme was for a two-storey rear extension but during the course of the application the applicant was advised that the scale, size and design of the extension was not in-keeping with the host property and would have a harmful impact on the grade II listed building. Therefore, the applicant submitted a revised application for a single storey rear extension.
- 8.11** The revised details demonstrate that the single storey extension would not project any further into the garden than the existing extension and would have a 5.2m projection to the rear to match the existing. However, the extension would increase approx. 1m to the side to infill the space between the boundary and the existing extension. The rear wall of the existing extension would be re-built raised in height from 2.7m to 3m. The applicant has suggested that the extension would be either brick to match or imperial gauge Victorian style clay brick. Here it is considered that the 1970s LBC common bricks should not be used externally. It is also noted that a timber window and French doors are also proposed to the rear to match the host property, which is considered acceptable.

**8.12** It is considered that should permission be granted conditions could be attached to ensure that prior to installation, samples/details of external materials including bricks, coping stones are to be agreed in writing by the LPA. A further condition could be attached to ensure that prior to installation, of windows and external doors, details including scaled cross-sectional drawings are also to be agreed in writing by the LPA.

**8.13** Overall, subject to the conditions as explained above, the scheme is considered to be in-keeping with the host dwelling and will preserve the setting of this part of the conservation area in compliance with paragraphs 126 and 130 of the NPPF, policies SD4 and SD8 of the JCS, and HER1 and RES5 of the TBLP, as well as 5.1 and 5.5 of the WNP.

**Impact of the listed building and setting of neighbouring listed buildings.**

**8.14** Sections 16 (2) 66 (1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires special regard to be had to the desirability of preserving the building or its setting or any features of special architectural or historic interest it possess.

**8.15** Paragraph 199 of the NPPF states that: When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.

**8.16** Paragraph 200 of the NPPF states that: Any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification.

**8.17** Policy SD8 states that: Development should make a positive contribution to local character and distinctiveness, having regard to valued and distinctive elements of the historic environment. The policy also states that: Designated and undesignated heritage assets and their settings will be conserved and enhanced as appropriate to their significance, and for their important contribution to local character, distinctiveness and sense of place.

**8.18** Policy HER2 of the emerging Local Plan states that: Alterations, extensions or changes of use to Listed Buildings, or development within their setting, will be expected to have no adverse impact on those elements which contribute to their special architectural or historic interest, including their settings.

**8.19** Officers agree that the overall appearance of the extension would remain similar and as such it is not considered that the proposal would have an adverse impact upon heritage considerations.

**8.20** Subject to the proposed aforementioned conditions in section 8.13 – 8.14 of this report, the infill single storey side extension to the existing single storey extension is considered in-keeping with the design, size, scale and materials in the existing building and as such will preserve the listed building, as well as the setting of the nearby listed properties.

### ***Landscape Impact upon Cotswolds AONB***

- 8.21** Section 15 of the NPPF relates to "Conserving and Enhancing the Natural Environment" and, at paragraph 174, specifies that planning decisions should contribute to and enhance the natural and local environment by protecting and enhancing valued landscapes, and by recognising the intrinsic character and beauty of the countryside.
- 8.22** As set out above, the application site is located within the Cotswolds AONB. Paragraph 176 of the NPPF sets out that great weight should be given to conserving and enhancing landscape and scenic beauty in AONBs which, along with National Parks and the Broads, have the highest status of protection in relation to these issues. Paragraph 176 further states that the scale and extent of development within these designated areas should be limited, while development within their setting should be sensitively located and designed to avoid or minimise adverse impacts on designated areas.
- 8.23** Policy SD7 of the JCS sets out that all development proposals in or within the setting of the Cotswolds AONB will be required to conserve and, where appropriate, enhance its landscape, scenic beauty, wildlife, cultural heritage and other special qualities.
- 8.24** Policy SD6 development will seek to protect landscape character for its own intrinsic beauty and for its benefit to economic, environmental and social well-being.
- 8.25** The proposals are relatively minimal in scale and would be located on the rear of the property. The site is in a well-established residential area in the heart of Winchcombe and it is considered that it would be read in the context of the existing surroundings. With this in mind it is considered that the proposal would have a neutral impact on this part of the Cotswold AONB. The scheme is compliant with policies SD6 and SD7 of the JCS and policy RES5 of the TBLP.

### ***Highways***

- 8.26** Policy INF1 'Transport Network' states that developers should provide safe and accessible connections to the transport network to enable travel choice for residents and commuters.
- 8.27** Policy TRAC9 of the TBLP states that proposals for new development that generate a demand for car parking space should be accompanied by appropriate evidence which demonstrates that the level of parking provided will be sufficient. The appropriate level of parking required should be considered on the basis of the following:
- 1) the accessibility of the development;
  - 2) the type, mix and use of development;
  - 3) the availability of and opportunities for public transport;
  - 4) local car ownership levels;
  - 5) an overall need to reduce the use of high emission vehicles; and
  - 6) a comparison of the forecast trip generation and resultant accumulation with the proposed parking provision.
- 8.28** The existing access and parking situation would remain unchanged, and the scheme does not plan to increase the number of bedrooms at the property. Therefore, the proposal is compliant with policy INF1 of the JCS and TRAC9 of the TBLP.

### ***Residential Amenity***

- 8.29** JCS policies SD4 and SD14 require development to enhance comfort, convenience and enjoyment through assessment of the opportunities for light, privacy and external space. Development should have no detrimental impact on the amenity of existing or new residents or occupants.
- 8.30** Policy RES10 states that proposals for the extension and alteration of existing dwellings, and the erection of domestic outbuildings and annexes, will be permitted providing that (amongst other criteria):
4. The proposal does not have an unacceptable impact on the amenity of neighbouring properties
- 8.31** Objection comments from the Town Council have explained that the extension would be significantly negatively impacting on neighbours, with the box like design, which would deny daylight and enjoyment of their gardens. However, as previously stated, the single storey side extension will not project any further into the garden, with a 5.2m projection to the rear to match the existing. The extension would increase approx. 1m to the side to infill the side space between the boundary and the existing extension. The rear wall of the extension shall be re-built and the wall will be raised in height from 2.7m to 3m.
- 8.32** The increase in height of the single storey rear extension by 0.3m which will be slightly higher than the existing close boarded fencing closer to the end of the extension and approx. 1m higher than the close-boarded fencing panel nearest to the properties. Whilst it is agreed that there may be some loss of light into the rear kitchen window and garden area of no.69 this loss of light would not be considered significant considering the existing extension and boundary treatment.
- 8.33** The applicant has submitted a solar analysis as part of the application which is considered accurate. As explained in the report, this analysis shows three images, the first of the three images show shadows thrice daily during the equinox, comparing existing and proposed situations. The models include a simple illustration of the main structures and the fence between the two properties. Figure 1 shows shadows at 9 AM, where the neighbouring garden is shadowed in the morning on both existing and proposed situations as a result of the casted shadows by the main long 2-storey structures comprising of 65, 67 and 69 Gloucester Street, whereas the proposed extension in Wisteria Cottage has limited effect on it. Figures 2 and 3 show that the proposed extension at Wisteria Cottage, located on the northeast of the neighbouring garden, does not affect shadows because the neighbouring garden is open and exposed to the sun. Due to the orientation of the extension and the positioning of the sun, the extension is not considered to have any more of an impact on no.69 than compared with the existing situation.
- 8.34** Due to the distances between the proposed dwelling and neighbouring occupiers, and the small-scale nature of the proposal there are not considered to be any significant residential amenity impacts for neighbouring properties nor any future occupiers of the host dwelling in terms of loss of privacy, loss of light etc. The resulting outdoor amenity space for the existing dwelling is also considered acceptable. Therefore, the scheme complies with policies SD4 and SD14 of the JCS and policy RES10 of the TBLP.

## 9. Conclusion

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- 9.1 It is considered that the proposal would not be unduly harmful to the appearance of the existing listed building nor the surrounding area and it would not result in an unacceptable loss of residential amenity to neighbouring dwellings. Adequate parking would also be provided. In reaching this conclusion the general duty prescribed in Section 66 of the Planning (Listed Buildings and Conservation Areas) Act has also been taken into account and discharged with regard to giving special attention to the desirability of preserving a listed building or its setting or any features of special architectural or historic interest which it possesses.

## 10. Recommendation

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- 10.1 The proposal accords with relevant policies as outlined above, it is therefore recommended the application be **PERMITTED** subject to the following conditions:

## 11. Conditions

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- 1 The works hereby permitted shall be begun before the expiration of three years from the date of this consent.

Reason: Required to be imposed by Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

- 2 The development hereby permitted shall be carried out in accordance with the following plan references:

Location Plan, Proposed Block Plan and Existing Plans and Elevations (A1086P/559/01A) received 31<sup>st</sup> January 2023.

Proposed Plans and Elevations (A1086P-559-02D) received 28<sup>th</sup> June 2023.

except where these may be modified by any other conditions attached to this permission.

Reason: To ensure that the development is carried out in accordance with the approved plans

- 3 Prior to installation, samples/details of external materials including bricks and coping stones shall be submitted to and agreed in writing by the Local Planning Authority.

Reason: To ensure a high-quality finish to the development in the interest of the visual amenities of the area.

- 4 Prior to installation of windows and external doors, details including scaled cross-sectional drawings shall be submitted to and agreed in writing by the Local Planning Authority.

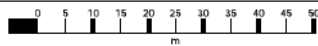
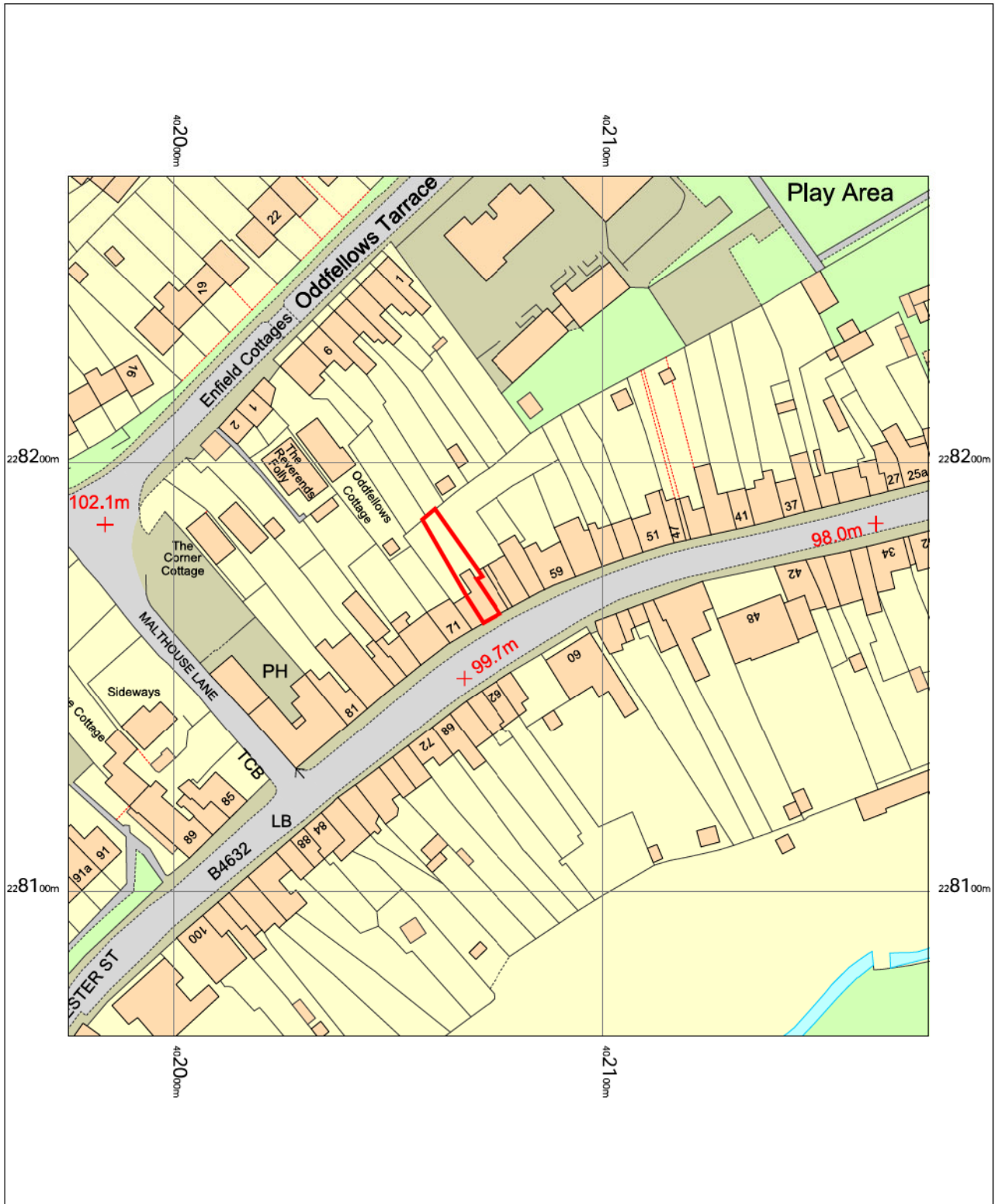
Reason: To ensure a high-quality finish to the development in the interest of the visual amenities of the area.

## **12. Informatives**

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- 1** In accordance with the requirements of the NPPF the Local Planning Authority has sought to determine the application in a positive and proactive manner by offering pre-application advice, publishing guidance to assist the applicant, and publishing to the council's website relevant information received during the consideration of the application thus enabling the applicant to be kept informed as to how the case was proceeding.

# 67 Gloucester Street Winchcombe



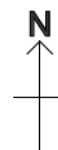
**Location Plan**

**Curtilage** ▬

Wednesday, November 23, 2022, ID: CM-01073577  
[www.centremapslive.co.uk](http://www.centremapslive.co.uk)

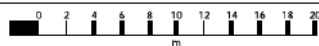
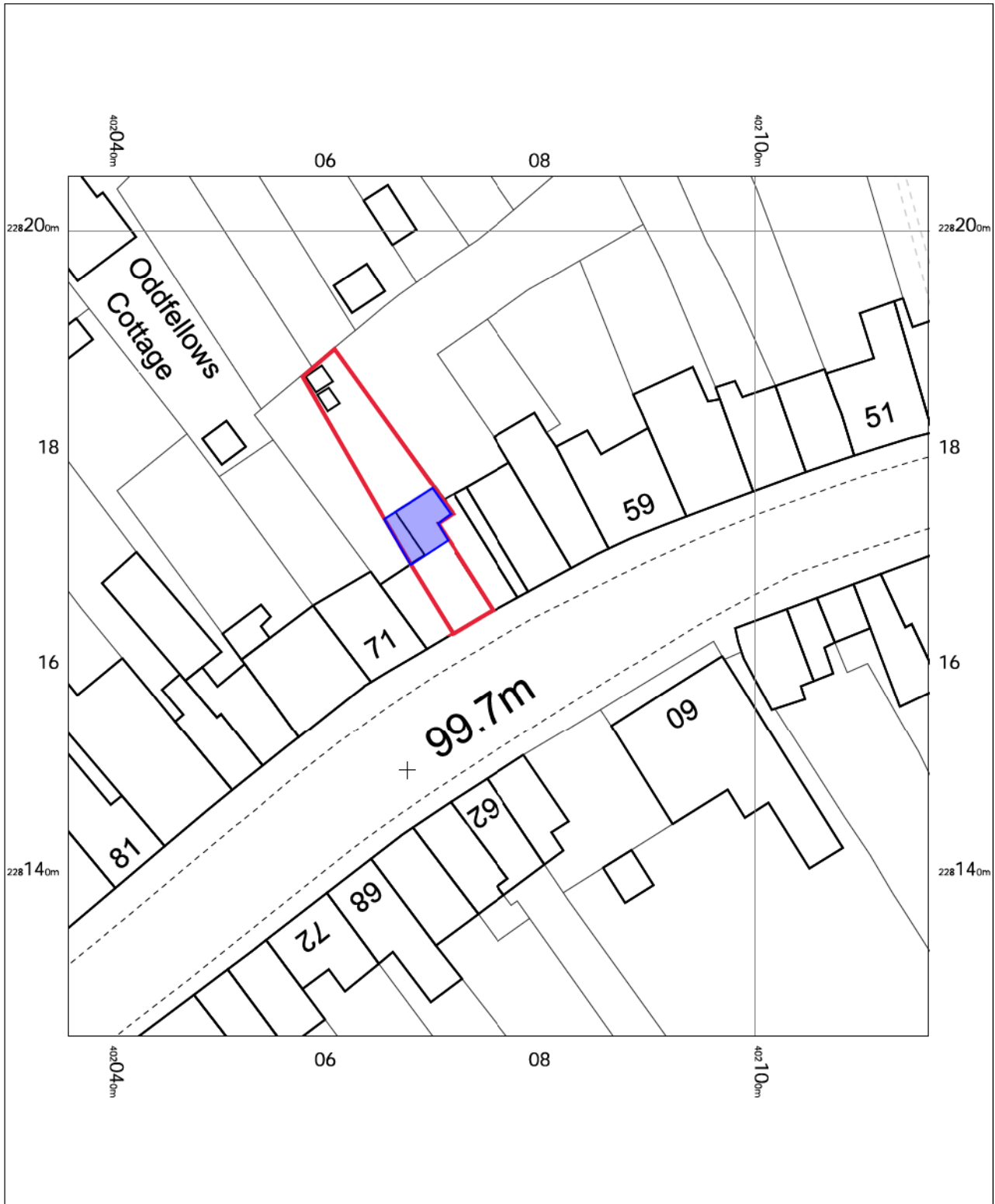
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67 Gloucester Street Winchcombe



**Block Plan As Existing Including Sheds**

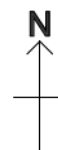
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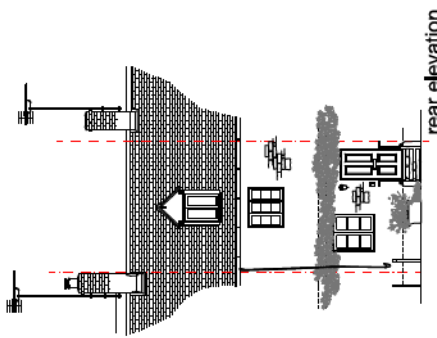
**Proposed Development** █

OS MasterMap 1250/2500/10000 scale  
 Wednesday, November 23, 2022, ID: CM-01073583  
[www.centremapslive.co.uk](http://www.centremapslive.co.uk)

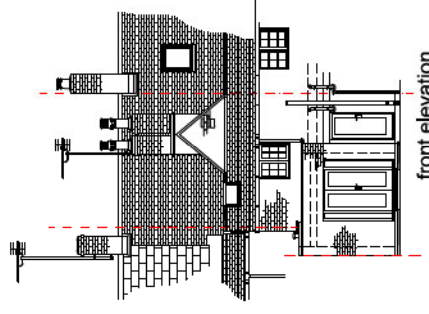
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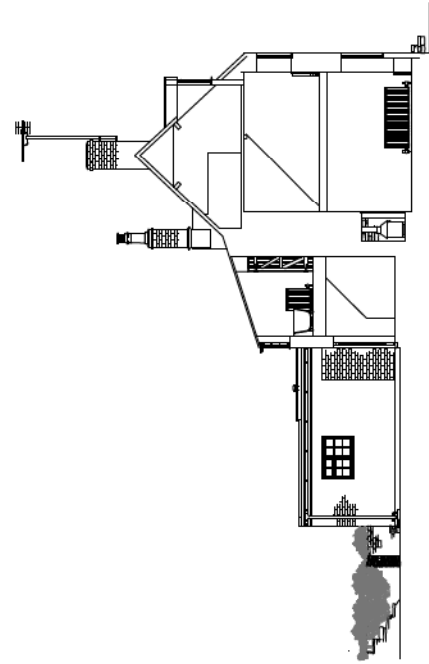




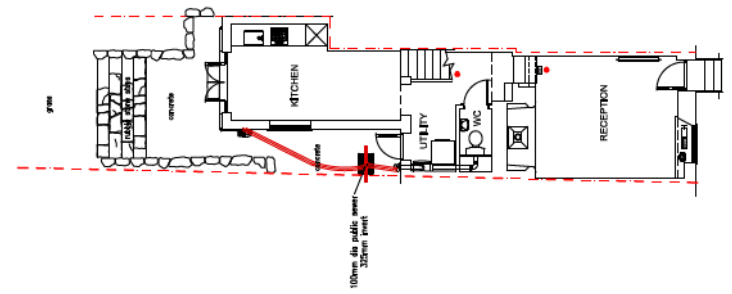
rear elevation



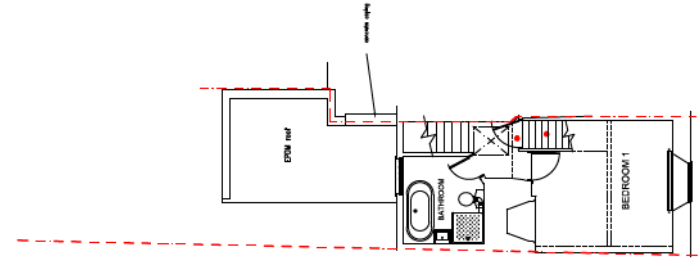
front elevation



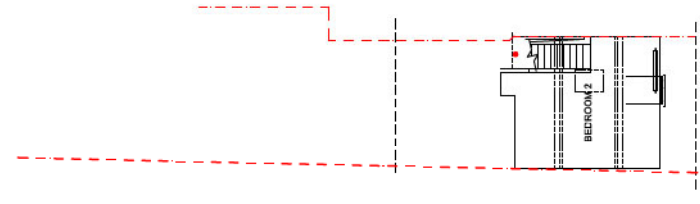
section



ground floor



first floor




second floor



Location of public sewer



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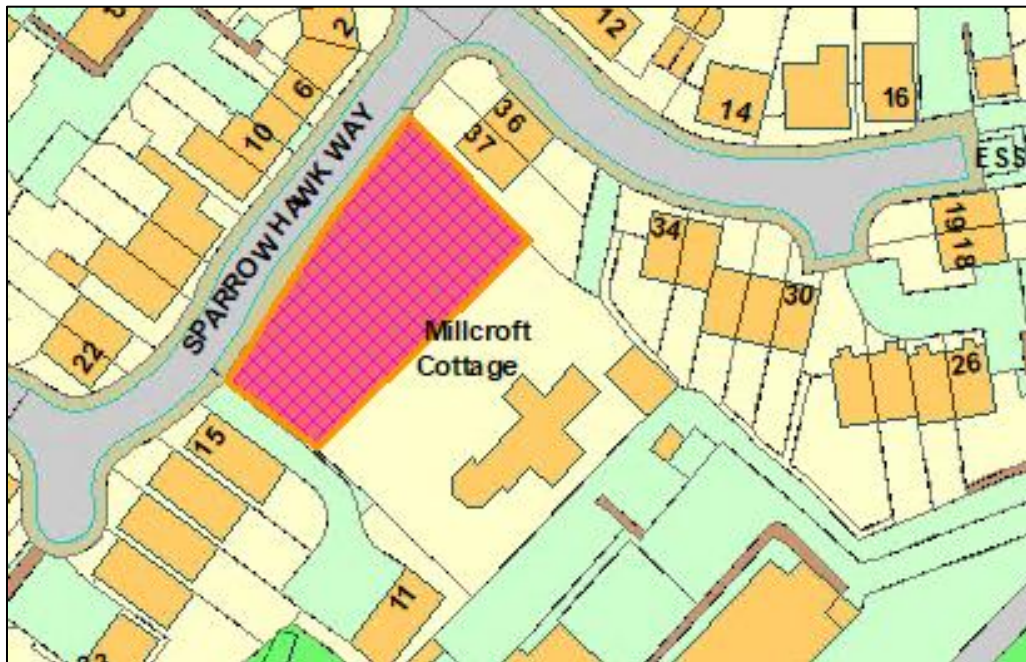
REV	DATE	TITLE
A1086P/559/01a	28/11/22	Amend boundary.
		
67 Gloucester Street Winchcombe GL54 5LX		
Proposed Rear Extension Plans and Elevations As Existing		
DATE	SCALE	PROJECT
14th of Oct 2022	1/100 @ A2	DIS022
DRAWN	CHECKED	PROJECT
A. Davis		
A1086P/559/01a		



## Planning Committee

<b>Date</b>	18 July 2023
<b>Case Officer</b>	Chloe Buckingham
<b>Application No.</b>	22/00995/FUL
<b>Site Location</b>	Land At Sparrow Hawk Way, Brockworth
<b>Proposal</b>	Erection of two detached dwellings with associated parking and amenity.
<b>Ward</b>	Brockworth East
<b>Parish</b>	Brockworth
<b>Appendices</b>	Location Plan Existing Site Plan Proposed Elevations Proposed Streetscene Proposed Ground Floor Plan Existing Section Proposed Section
<b>Reason for Referral to Committee</b>	Parish Council Objection
<b>Recommendation</b>	Permit

### Site Location



## 1. The Proposal

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Full application details are available to view online at:  
<https://publicaccess.tewkesbury.gov.uk/online-applications>

- 1.1 The application seeks full planning permission for the erection of 2no. detached dwellings with associated parking and amenity.

The proposal is for two detached, pitched-roof bungalows to be constructed from red brick and roof tiles.

## 2. Site Description

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- 2.1 The site originally formed part of the residential curtilage of Mill Croft Cottage, which is a large, detached property on the north-eastern outskirts of Brockworth. The site is surrounded on three sides by new residential development and there is a large care home to the rear of the site.

- 2.2 Following adoption of the Joint Core Strategy the site does not lie within designated Green Belt land but is within the designated residential development boundary of Brockworth.

## 3. Relevant Planning History

Application Number	Proposal	Decision	Decision Date
03/01540/FUL	Ground and first floor extensions to provide additional accommodation and garage.	PERMIT	01.04.2004
08/00078/OUT	Proposed new house.	REFUSE	12.06.2008
11/00674/OUT	Outline application for the erection of a detached dwelling and garage.	REFUSE	25.10.2011
18/00380/OUT	Erection of new build, detached, 4 bed dwelling within boundary of existing house.	PERMIT	26.09.2018

## 4. Consultation Responses

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Full copies of all the consultation responses are available online at  
<https://publicaccess.tewkesbury.gov.uk/online-applications/>.

- 4.1 **Brockworth Parish Council-** Objection- the main concerns were the landscape impact, loss of ecology, loss of green space, mature trees (47 in total), and garden, overdevelopment, no need for further additional housing in this area of Brockworth considering the Perrybrook development. Concerns also raised regarding the access, highway impact and parking and the design of the properties not being in-keeping with the wider area.

- 4.2 **Tree Officer** – No objection subject to 3 conditions.
- 4.3 **Ecology**- No objection subject to 3 conditions.
- 4.4 **Highways**- No objection subject to 2 conditions and 2 Informatives
- 4.5 **Drainage**- No objection subject to 2 conditions.

## 5. **Third Party Comments/Observations**

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Full copies of all the representation responses are available online at <https://publicaccess.tewkesbury.gov.uk/online-applications/>.

- 5.1 Neighbour notifications were posted, and a consultation period of 21 days was carried out and 4 objection comments have been received. The main points being:

- Parking issues - not enough spaces at present and where will visitors park?
- Road too narrow to reverse out of dwellings.
- Overdevelopment
- Highway safety issues- access, parking, pedestrians, construction traffic, emergency vehicle access.
- Loss of mature trees, hedging and wildlife.
- Should only allow 1 dwelling and the access should be shared with the existing property and come out onto Goldfinch Walk.
- Loss of privacy.
- Planning already refused for one dwelling.
- Loss of green space.
- Not appealing if/when neighbours want to sell their properties.
- Trees are currently a nuisance- too large and damaging pathways of neighbouring properties and the leaves/debris is a problem. Trees aren't currently looked after.
- Noise and mess.
- The dwellings will be out of character with the existing properties.
- Access for emergency vehicles.
- Pedestrian safety.
- Sewage problems.
- No space for refuse and recycling.

3 further objection comments were received after second re-consultation. The main points being;

- Regardless of the materials and design of the dwellings, all previous issues remain.

16 further objection comments were received after further re-consultation. All previous comments apply but an additional comment has explained that a bat detector has confirmed that there are actually bats present. **The Councils Ecologist has been consulted and an update will be provided to members at the committee meeting.**



## **6. Relevant Planning Policies and Considerations**

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### **6.1 Statutory Duty**

Planning law requires that applications for planning permission must be determined in accordance with the Development Plan unless material considerations indicate otherwise.

The following planning guidance and policies are relevant to the consideration of this application:

### **6.2 National guidance**

National Planning Policy Framework (NPPF) and the National Planning Practice Guidance (NPPG).

### **6.3 Gloucester, Cheltenham and Tewkesbury Joint Core Strategy (JCS) – Adopted 11 December 2017**

SP2 (Distribution of New Development)  
SD3 (Sustainable Design and Construction)  
SD4 (Design Requirements)  
SD6 (Landscape)  
SD9 (Biodiversity and Geodiversity)  
SD10 (Residential Development)  
SD11 (Housing mix and Standards)  
SD14 (Health and Environmental Quality)  
INF1 (Transport Network)  
INF2 (Flood Risk Management)  
INF3 (Green Infrastructure)

### **6.4 Tewkesbury Borough Local Plan to 2011-2031 (TBLP) – Adopted 8 June 2022**

RES2 (Settlement Boundaries)  
RES5 (New Housing Development)  
ENV2 (Flood Risk and Water Management)  
NAT1 (Biodiversity, Geodiversity and Important Natural Features)  
TRAC9 (Parking Provision)  
DES1 (Space Standards)

### **6.5 Neighbourhood Development Plan**

None

## **7. Policy Context**

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- 7.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that proposals be determined in accordance with the Development Plan unless material considerations indicate otherwise. Section 70 (2) of the Town and Country Planning Act 1990 provides that the Local Planning Authority shall have regard to the provisions of the Development Plan, so far as material to the application, and to any other material considerations.

- 7.2 The Development Plan currently comprises the Joint Core Strategy (JCS) (2017), the Tewkesbury Borough Local Plan to 2011-2031 (June 2022) (TBLP), and a number of 'made' Neighbourhood Development Plans.
- 7.3 The relevant policies are set out in the appropriate sections of this report.
- 7.4 Other material policy considerations include national planning guidance contained within the National Planning Policy Framework 2021 and its associated Planning Practice Guidance (PPG), the National Design Guide (NDG) and National Model Design Code.

## 8. Evaluation

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### *Principle of development*

- 8.1 Policy SP2 of the JCS and policy RES2 of the TBLP identify Brockworth as an urban fringe settlement. Policy RES2 states that in addition to the settlement hierarchy there are a number of settlements within the Borough that are closely associated with Gloucester or Cheltenham. These settlements do not fit into the Borough's settlement hierarchy as in strategic planning terms they are considered to form part of the urban fringe of Gloucester and Cheltenham. They do however represent sustainable settlements possessing a good range of services and good accessibility to Gloucester and Cheltenham.
- 8.2 Therefore, as the site is located within the defined settlement boundary of Brockworth, the proposal is acceptable in principle subject to compliance with all other policies.

### *Design and Visual Amenity*

- 8.3 Paragraph 126 of the NPPF states that the creation of high quality, beautiful and sustainable buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.
- 8.4 Paragraph 130 of the NPPF states that planning policies and decisions should ensure that developments (amongst other criteria):
- (a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;
  - (b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;
  - (c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities).



- 8.5** JCS Policy SD4 provides that new development should respond positively to, and respect the character of, the site and its surroundings, enhancing local distinctiveness, and addressing the urban structure and grain of the locality in terms of street pattern, layout, mass and form. It should be of a scale, type, density and materials appropriate to the site and its setting.
- 8.6** Criterion 6 of Policy SD10 'Residential Development' of the JCS states the residential development should seek to achieve maximum density compatible with good design, the protection of heritage assets, local amenity, the character and quality of the local environment, and the safety and convenience of the local and strategic road network.
- 8.7** Policy RES5 states that in considering proposals for new housing development regard will be had to the following principles. Proposals should (amongst other criteria):
- be of a design and layout that respects the character, appearance and amenity of the surrounding area and is capable of being well integrated within it;
  - be of an appropriate scale having regard to the size, function and accessibility of the settlement and its character and amenity, unless otherwise directed by policies within the Development Plan;
  - where an edge of settlement site is proposed, respect the form of the settlement and its landscape setting, not appear as an unacceptable intrusion into the countryside and retain a sense of transition between the settlement and open countryside;
  - not cause the unacceptable reduction of any open space (including residential gardens) which is important to the character and amenity of the area;
  - incorporate into the development any natural or built features on the site that are worthy of retention;
- 8.8** There are a mix of dwellings of varying architectural styles in the locality, with several red brick new build properties surrounding the site in contrast to the rendered appearance of Millcroft Cottage.
- 8.9** Within the original submission for this application, the scheme proposed two detached, flat green roof bungalows to be constructed from render with an area of glazed tiles to the front elevation.
- 8.10** Officers considered that the spacing between the dwellings was quite cramped, however, given that the spacing between dwellings on the existing estate is very similar and the layout is a traditional planned form it was considered that two units on this site could be accommodated whilst still retaining appropriate amenity space. However, there was concern regarding the modern design and flat green roofs as well as the use of materials as this is a traditional estate where the predominant material is that of red brick.
- 8.11** Therefore, the applicant was advised that a pair of traditionally designed red brick bungalows may be acceptable here subject to the designs and material proposals. Revised plans were received showing a change in the material to red brick, and also a change to a pitched tiled roof.

- 8.12** Whilst the changes made were an improvement, the design was still considered improvements and were out-of-keeping with the traditionally designed estate. In response the applicant made further changes to the fenestration to the front elevation and now the dwellings are considered to be in-keeping with the character and appearance of the surrounding dwellings and wider street scene.
- 8.13** Overall, subject to the submission of materials samples, the scheme is considered to be acceptable and in compliance with paragraphs 126 and 130 of the NPPF, policies SD4 and SD10 of the JCS, and RES5 of the TBLP.

### ***Trees***

- 8.14** Policy INF3 of with JCS provides that existing green infrastructure, including trees should be protected. Developments that impact woodlands, hedges and trees should be justified and include acceptable measures to mitigate any loss and should incorporate measures acceptable to the Local Planning Authority to mitigate the loss.
- 8.15** Policy NAT1 relates to biodiversity, geodiversity and important natural features and provides that development likely to result in the loss, deterioration or harm to features of environmental quality will not be permitted unless the need/benefits for development outweigh the impact.
- 8.16** There is one lime tree that is proposed to be retained outside of the application site which will leave the silver birch as the only tree that will be retained within the site. In total there will be 40 mostly mature trees removed. The tree survey has categorised these trees as mainly C or U due to 7 being ash and having early signs of ash dieback and the others due to their condition/form and it is confirmed, through consultation with the Tree Officer that these trees would not be suitable for a Tree Preservation Order (TPO). However, regardless of this it is still 40 trees that currently provide urban canopy cover within this location that will be lost.
- 8.17** The tree officer was consulted, and officers agree that on balance, considering that none of the trees are worthy of a TPO, and as at least 7 have ash dieback, the loss of these trees could be mitigated through additional planting.
- 8.18** Officers agree that subject to tree planting, protection and mitigation conditions the scheme is acceptable and compliant with policy INF3 of the JCS and policy NAT1 of the TBLP.

### ***Ecology***

- 8.19** Policy SD9 (Biodiversity and Geodiversity) specifies that the protection and enhancement of the biodiversity and geological resource of the JCS will be achieved by, inter alia, ensuring that European Protected Species and National Protected Species are safeguarded in accordance with the law, and by encouraging new development to contribute positively to biodiversity geodiversity whilst linking with wider networks of green infrastructure. In this respect, Policy NAT1 of the TBLP is also relevant and explains that proposals that will conserve, restore and enhance, biodiversity will be permitted. Proposals will, where applicable, be required to deliver a biodiversity net gain across local and landscape scales, including designing wildlife into development proposals, the connection of sites and large-scale habitat restoration, enhancement and habitat re-creation.

- 8.20** As explained by the ecologist, the updated EA report included consideration of the three ponds within 500m of the proposed development site. The closest pond to the site was accessed (approximately 115m to the southwest) and was found to be a damp depression, and a Habitat Suitability Index (HSI) assessment was not undertaken. The remaining two ponds within 500m of the site were not visited, as access was not provided. The EA report noted that the pond approximately 265m northwest of the site was surveyed in 2020 by an ecological consultancy and was assessed at that time as being of 'below average' suitability to support breeding Great Crested Newts (GCN). The updated EA report included Local Record Centre results confirming a high number of GCN records within 2km of the proposed development site, including records of GCN approximately 180m from the development site, at a garden centre where there are no known ponds. However, a Natural England Rapid Risk Assessment was undertaken for the above development site, returning a result of an offence being 'highly unlikely'.
- 8.21** Reptile presence/absence surveys were undertaken in April and May 2023, and no reptiles (or amphibians) were recorded during these surveys, indicating reptiles are likely to be absent from the proposed development site. The mitigation measures outlined in the EA report for vegetation removal should ensure that the proposed development avoids potential harm to reptiles, in the unlikely event they are present on site. These measures are also considered appropriate to avoid potential harm to GCN, in the unlikely event they are present within the development site boundary. The mitigation detailed in the report would be conditioned if the scheme was acceptable.
- 8.22** The ecologist has explained that the mitigation measures provided for reptiles, bats, birds, badgers and hedgehogs shall be expanded upon in an Ecological Mitigation and Enhancement Strategy which will include a plan detailing the location and specification of ecological enhancement features including bat and bird boxes, and hedgehog holes in any proposed fencing. The Ecological Mitigation and Enhancement Strategy would be provided to the Local Planning Authority prior to commencement and a further condition would also be attached regarding a sensitive lighting scheme.
- 8.23** Officers agree that subject to conditions as explained above, the scheme is acceptable and compliant with policy SD9 of the JCS and policy NAT1 of the TBLP.

### ***Highways***

- 8.24** Policy INF1 'Transport Network' states that developers should provide safe and accessible connections to the transport network to enable travel choice for residents and commuters.
- 8.25** Policy TRAC9 of the TBLP states that proposals for new development that generate a demand for car parking space should be accompanied by appropriate evidence which demonstrates that the level of parking provided will be sufficient. The appropriate level of parking required should be considered on the basis of the following:
- 1) the accessibility of the development;
  - 2) the type, mix and use of development;
  - 3) the availability of and opportunities for public transport;
  - 4) local car ownership levels;
  - 5) an overall need to reduce the use of high emission vehicles; and
  - 6) a comparison of the forecast trip generation and resultant accumulation with the proposed parking provision.

- 8.26** There have been a number of objection comments regarding insufficient parking and highway safety, as well as issues regarding the access for construction and emergency vehicles.
- 8.27** A Transport Assessment has been submitted including swept path tracking for the driveways with parking on-street opposite.
- 8.28** Officers agree that the location is sustainable as it is within 400m of regular service bus stops on the A46 connecting between Cheltenham and Gloucester centres and associated amenities accessible via lit footways. The visibility splays are also sufficient and there are also safe walking and cycling connections to local amenities within Brockworth. Therefore, whilst there have been objections regarding parking, due to the sustainable location, this is not considered to be grounds for refusal. The swept paths provided show that parking on the street would not prevent site dwelling parking.
- 8.29** The two parking spaces per dwelling is also considered to be satisfactory and EV charging points are shown. Whilst the highways officer has recommended a bicycle parking condition, it is noted that there is access down the sides of each property and as such bicycle parking could be provided if required and a condition is not wholly necessary to comply with the policies. A condition shall be attached to ensure adequate drainage of the access and parking and turning area to ensure there is no unacceptable surface water runoff.
- 8.30** Informatives should be attached to explain that the applicant should apply for a licence for the new access and to explain that the contractors should comply with the code of conduct in the Considerate Constructors Scheme to avoid issues regarding noise and issues regarding construction traffic during the course of construction phase.
- 8.31** Officers agree that subject to conditions as explained above, the scheme is acceptable and compliant with policy INF1 of the JCS and policy TRAC9 of the TBLP.

### ***Residential Amenity***

- 8.32** JCS policies SD4 and SD14 require development to enhance comfort, convenience and enjoyment through assessment of the opportunities for light, privacy and external space. Development should have no detrimental impact on the amenity of existing or new residents or occupants.
- 8.33** Policy RES5 states that in considering proposals for new housing development regard will be had to the following principles. Proposals should (amongst other criteria):
- provide an acceptable level of amenity for the future occupiers of the proposed dwelling(s) and cause no unacceptable harm to the amenity of existing dwellings;

- 8.34** Policy DES1 explains that Tewkesbury Borough Council adopts the Government's nationally described space standards. All new residential development will be expected to meet these standards as a minimum. Any departure from the standards, whether for viability of physical achievability reasons, will need to be fully justified at planning application stage. New residential development will be expected to make adequate provision for private outdoor amenity space appropriate to the size and potential occupancy of the dwellings proposed.

- 8.35** Objection comments have explained that there will be a detrimental loss of privacy and noise issues for neighbouring dwellings. However, due to the orientation of the windows and doors in the proposed dwellings and the proximity to other dwellings, it is considered that there will be minimal over-looking, loss of privacy and noise issues for neighbouring dwellings and any future occupiers of the site. Furthermore, there is a sufficient amount of outdoor amenity space to serve both of the dwellings and the room sizes comply with the Nationally Described Space Standards.
- 8.36** The scheme is compliant with policies SD4 and SD14 of the JCS and policy RES5 of the TBLP.

### ***Drainage and Flood Risk***

- 8.37** JCS Policy INF2 advises that development proposals must avoid areas at risk of flooding and must not increase the level of risk to the safety of occupiers of a site and that the risk of flooding should be minimised by providing resilience and taking into account climate change. It also requires new development to incorporate Sustainable Urban Drainage Systems (SUDS) where appropriate to manage surface water drainage. This advice is reflected within the council's Flood Risk and Water Management SPD.
- 8.38** The site is in flood zone 1 where there is a lower risk of flooding and the scheme proposes to deal with surface water runoff via a soakaway.
- 8.39** The first condition shall ensure that no development shall start until a detailed design, maintenance and management strategy and timetable of implementation for the surface water drainage strategy has been submitted to and approved in writing by the Local Planning Authority.
- 8.40** The second condition shall ensure that the development hereby permitted shall not be brought in to use/occupied until a SuDS management and maintenance plan for the lifetime of the development, which shall include the arrangements for adoption by any public authority or statutory undertaker and any other arrangements to secure the operation of the scheme throughout its lifetime, has been submitted to and approved in writing by the Local Planning Authority.
- 8.41** Officers agree that subject to conditions as explained above, the scheme is acceptable and compliant with policy INF2 of the JCS.

### ***Community Infrastructure Levy (CIL)***

- 8.42** The applicants have submitted the relevant CIL forms.

### ***Other issues***

- 8.43** Objection comments have stated that the scheme will not make it appealing if/when neighbours want to sell their properties. However, this is not a material planning consideration and as such has no bearing on the assessment of the application.
- 8.44** Objection comments have stated that 37 Goldfinch Walk was not consulted. However, this address was selected to receive and was sent a neighbour notification from the Council's records.

- 8.45 Objection comments were received to explain that there is no space for refuse and recycling. However, there is space allocated through the gate on the side of both properties.

## 9. Conclusion

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- 9.1 Section 38(6) of the Town and Country Planning Act 1990 provides that, if regard is to be had to the development plan, the determination must be made in accordance with the development plan unless other material circumstances indicate otherwise. Section 70 (2) of the Act provides that the Local Planning Authority shall have regard to the provisions of the development plan, so far as material to the application, and to any other material considerations.
- 9.2 Given the principle of development is acceptable, officers have considered the other material planning considerations. Amended plans were received which have now overcome concerns in respect of design of the proposed dwellings and ecological impacts.

## 10. Recommendation

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- 10.1 It is considered that the scheme as amended and subject to compliance with conditions would result in a high-quality development which would have an acceptable impact on neighbouring amenity, the character of the area and would comply with relevant policies in the plan. It is therefore recommended that application is **PERMITTED** subject to any additional/amended planning conditions.

## 11. Conditions

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- 1 The works hereby permitted shall be begun before the expiration of three years from the date of this consent.

Reason: Required to be imposed by Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

- 2 The development hereby permitted shall be carried out in accordance with the following plan references:

Proposed Ground Floor Plan (200 SK 150 REV A)  
Proposed Elevations (200 SK 160 REV A)  
Proposed Street scene (200 SK 167 REV)  
Proposed Section A (200 SK 170 REV)  
Location Plan (200 001)  
Existing Site Plan (200 010)  
Existing Section A (200 030)

except where these may be modified by any other conditions attached to this permission.

Reason: To ensure that the development is carried out in accordance with the approved plans

- 3** No work above floor plate level shall be carried out until samples of the wall and roof materials proposed to be used have been submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details.

Reason: To ensure a high-quality finish to the development in the interest of the visual amenities of the area.

- 4** The development hereby approved shall not be brought into use until the access, parking and turning facilities include drainage to prevent highway runoff between individual buildings to the nearest public highway. This shall be submitted and approved in writing by the Council prior to first use of the access, parking and turning facilities and maintained thereafter.

Reason: To ensure conformity with the submitted details in compliance with JCS policy INF1.

- 5** The trees/hedgerows to be removed shall be replaced during the first planting season following removal by trees/hedgerows of a species, size and in locations that have first been submitted to and approved in writing by the Local Planning Authority. Any replacement trees/hedgerows which, within a period of 5 years from the completion of the development, die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species, unless the Local Planning Authority gives written consent to any variation. If any plants fail more than once they shall continue to be replaced on an annual basis until the end of the 5 year period.

Reason: In the interests of visual amenity and the character and appearance of the area.

- 6** Before the first use/occupation of the development hereby permitted, full details of proposed tree/hedgerow planting shall be submitted to and approved in writing by the Local Planning Authority. The details shall include location, species and sizes, planting specifications, maintenance schedule, provision for guards or other protective measures. The details shall include the tree pit design and location, type and materials to be used for hard landscaping including specifications. All planting shall be carried out in accordance with the approved details in the first planting season following the completion or first occupation/use of the development, whichever is the sooner. The planting shall be maintained in accordance with the approved schedule of maintenance. Any trees or plants which, within a period of five years from the completion of the planting, die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species.

Reason: To ensure adequate provision for trees/hedgerows, in the interests of visual amenity and the character and appearance of the area.

- 7** The mitigation measures included within the updated Ecological Appraisal (Issue 3) (Crossman Associates, May 2023) should be strictly adhered to. In addition, proposed construction works should be undertaken outside of the main nesting bird season (March to August inclusive), to avoid potential harm to nesting birds. If this is not possible, a nesting bird check should be undertaken by a suitably qualified ecologist immediately prior to commencement of works.

Reason: To protect biodiversity and protected species.



- 8** Any proposals for external lighting shall be submitted to and approved in writing by the Local Planning Authority prior to the first occupation of the dwelling. The lighting scheme shall include, amongst other things, the location and specification of the lighting supported by contouring plans demonstrating any light spill into adjacent habitats. The lighting scheme shall be implemented in accordance with the approved details.

Reason: In the interests of biodiversity and protected species.

- 9** Prior to commencement of works an Ecological Mitigation and Enhancement Strategy should be submitted to and approved in writing by the Local Planning Authority. The strategy should ensure that the future development of the site retains existing features and habitats of ecological value, minimises the impact upon protected species (e.g. bats, nesting birds, hedgehogs, reptiles, amphibians, badgers) and maximises the potential of retained habitats to enhance biodiversity. It should include:
- Detailed mitigation and enhancements for bats, nesting birds, hedgehogs, amphibians, and reptiles, where applicable.
  - Retention and protection of mature trees within future development (where possible) and landscaping proposals to retain connectivity within the wider landscape. It should also include a plan detailing all enhancements, locations, and specifications.

Reason: In the interests of biodiversity and protected species.

- 10** No development shall start until a detailed design, maintenance and management strategy and timetable of implementation for the surface water drainage strategy presented in the Surface and Foul Water Drainage Strategy has been submitted to and approved in writing by the Local Planning Authority. The submitted details must demonstrate the technical feasibility and viability of the proposed drainage system through the use of SuDS to manage the flood risk to 2 the site and elsewhere and the measures taken to manage the water quality for the lifetime of the development. The scheme for the surface water drainage shall be implemented in accordance with the approved details and timetable and shall be fully operational before the development is first put in to use/occupied.

Reason: To ensure the development is provided with a satisfactory means of drainage and thereby reducing the risk of flooding. It is important that these details are agreed prior to the commencement of development as any works on site could have implications for drainage, flood risk and water quality in the locality.

- 11** The development hereby permitted shall not be brought in to use/occupied until a SuDS management and maintenance plan for the lifetime of the development, which shall include the arrangements for adoption by any public authority or statutory undertaker and any other arrangements to secure the operation of the scheme throughout its lifetime, has been submitted to and approved in writing by the Local Planning Authority. The approved SuDS maintenance plan shall be implemented in full in accordance with the approved details for the lifetime of the development.

Reason: To provide for the continued operation and maintenance of sustainable drainage features serving the site and to ensure that the development does not result in pollution or flooding, to improve water quality at point of discharge.

## 12. Informatives

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- 1 In accordance with the requirements of the NPPF the Local Planning Authority has sought to determine the application in a positive and proactive manner by offering pre-application advice, publishing guidance to assist the applicant, and publishing to the council's website relevant information received during the consideration of the application thus enabling the applicant to be kept informed as to how the case was proceeding.
- 2 The application will require Building Regulations approval. Please contact Cheltenham and Tewkesbury Building Control on 01242 264321 for further information.
- 3 The Local Highway Authority has no objection to the above subject to the applicant obtaining a section 184 licence. The construction of a new access will require the extension of a verge and/or footway crossing from the carriageway under the Highways Act 1980 - Section 184 and the Applicant is required to obtain the permission of Gloucestershire Highways on 08000 514 514 or [highways@gloucestershire.gov.uk](mailto:highways@gloucestershire.gov.uk) before commencing any works on the highway. Full Details can be found at [www.gloucestershire.gov.uk](http://www.gloucestershire.gov.uk) .

### 4 Construction Management Statement (CMS)

It is expected that contractors are registered with the Considerate Constructors scheme and comply with the code of conduct in full, but particularly reference is made to "respecting the community" this says:

Constructors should give utmost consideration to their impact on neighbours and the public

- o Informing, respecting and showing courtesy to those affected by the work;
- o Minimising the impact of deliveries, parking and work on the public highway;
- o Contributing to and supporting the local community and economy; and
- o Working to create a positive and enduring impression, and promoting the Code.

Contractors should also confirm how they will manage any local concerns and complaints and provide an agreed Service Level Agreement for responding to said issues.

Contractors should ensure information shared with the local community relating to the timing of operations and contact details for the site coordinator in the event of any difficulties. This does not offer any relief to obligations under existing Legislation.

5. No removal of trees/scrub/hedgerows shall be carried out on site between 1st March and 31st August inclusive in any year.



Location plan

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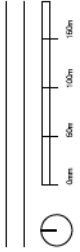
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Revision	Planning Date	Drawn	Reason

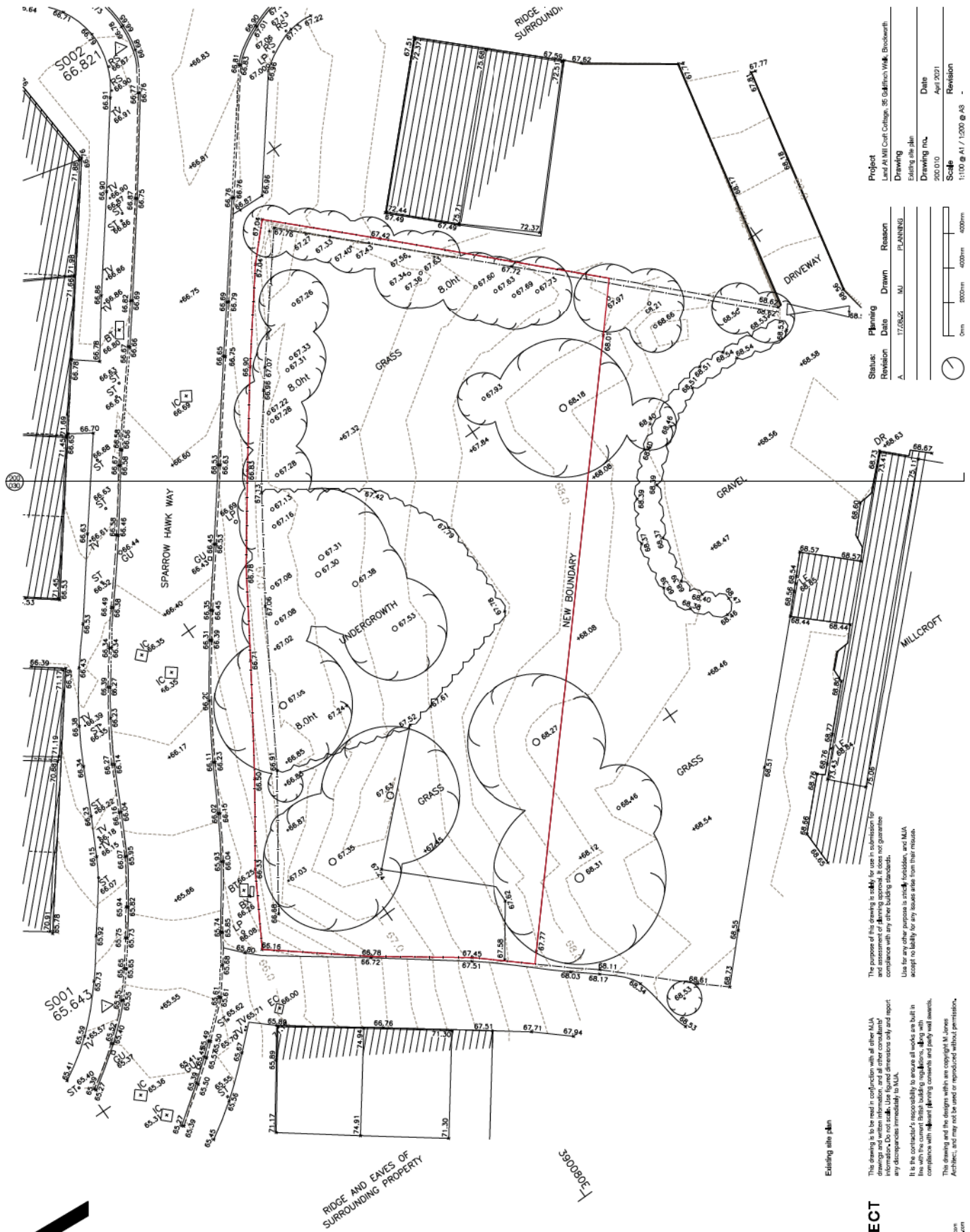


<b>Project</b>	Local A Mill Croft Cottage, 35 Gleditsch Walk, Bracknell
<b>Location</b>	UK
<b>Drawing no.</b>	200.001
<b>Date</b>	JUL 2022
<b>Scale</b>	1:625 @ A1 / 1:1250 @ A3
<b>Revision</b>	

**M JONES ARCHITECT**

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Registered in England  
 No. 10542828



Project		Lead/AMI Civil College, 35 Oaklawn Walk, Brookhurst	
Drawing		177/0625	
Existing site plan		Date	
2002.01.0		April 2021	
Scale		Revision	
1:100 @ A1 / 1:200 @ A3			

Status:	Planning	Drawn	Reason
Revision	Date	MI	PLANNING
A	17/06/25		

0m	2000mm	4000mm
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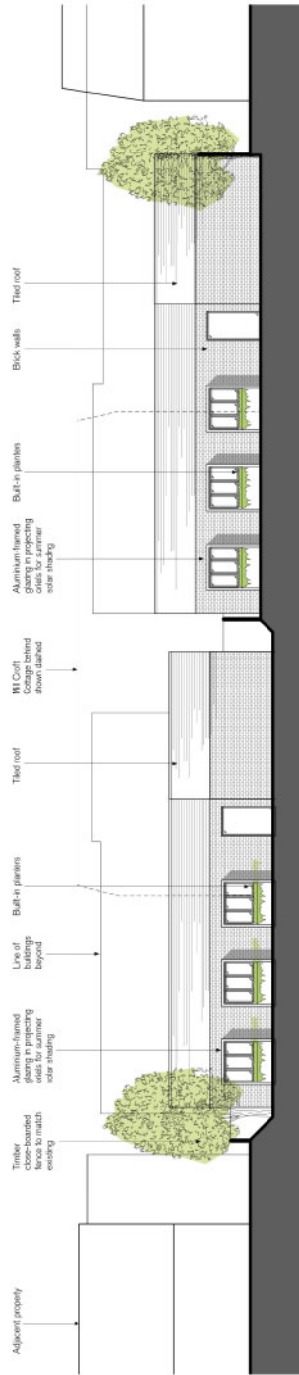
View 1 over  
 M Jones Architect  
 11/03/21 08:44:57  
 www.mjonesarchitect.com  
 01492493000@0400



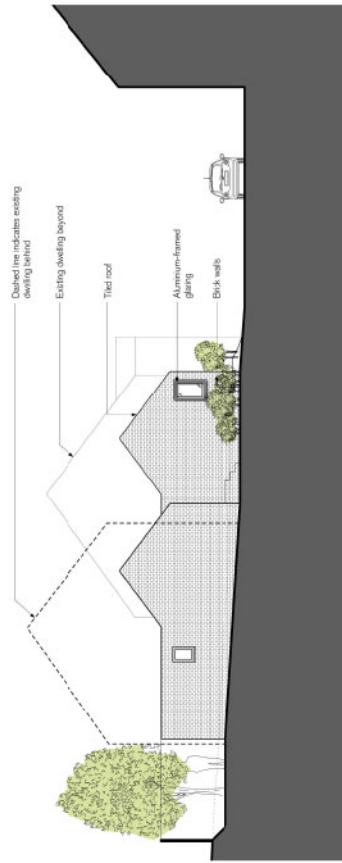
NB: PROPOSED TREES ALONG ROAD OMITTED HERE FOR CLARITY



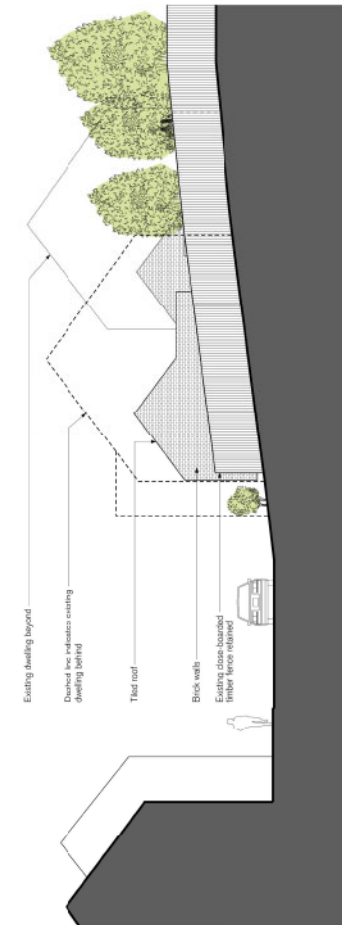
Proposed north-west elevation



Proposed south-east elevation



Proposed north-east elevation



Proposed south-west elevation

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Status:	Planning	Reason
Revision	Date	Drawn
A	01/06/23	MJ
		PLANNING

Project	Location
LOCK-AT-MILL COTT COTTAGE, 35 GUILDFORD WALK, BROOKWORTH	

Proposed elevation	Drawing no.	Date
	200 SK 160	May 2023

Scale	Revision
1:100 @ A1 / 1:200 @ A3	A

Scale	Dimensions
0m	200mm 400mm 600mm





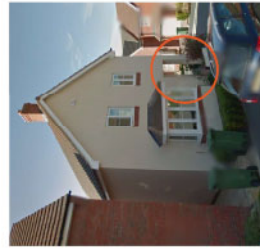
Proposed street scene - option 03



Windows using repetition of one model arranged in 1 / 2 / 3



Recessed corner entrance



Recessed corner entrance



Steps up

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Status: Preliminary  
 Revision: Date Drawn Reason

Revision	Date	Drawn	Reason

Project: Lead Hill Cott, College, 35 Oakfield Way, Brookworth

Drawing: Proposed street scene - option 03

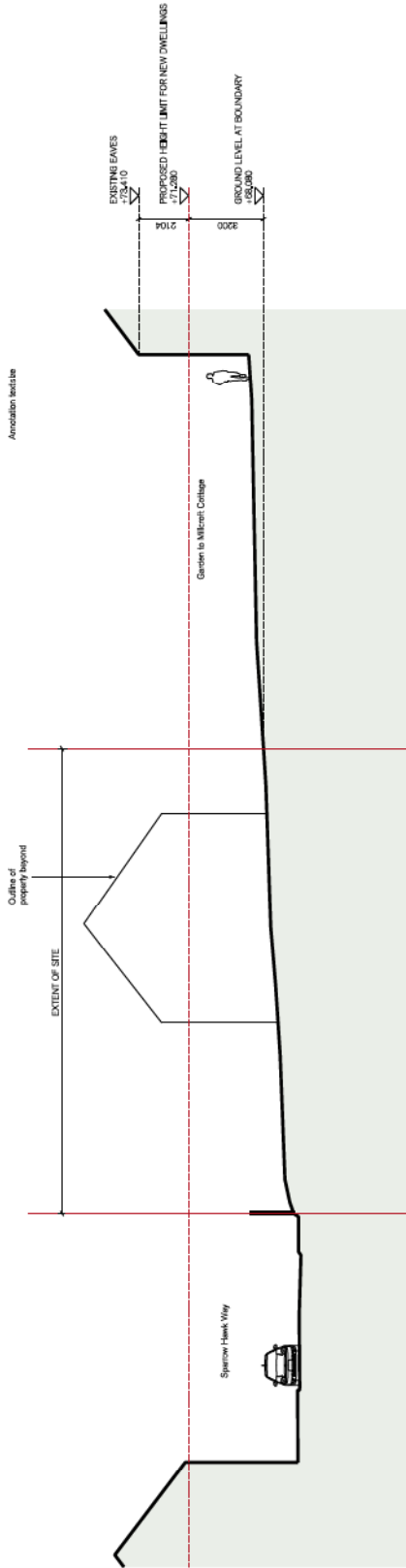
Drawing no.: 200 SK 107

Date: May 2023

Scale: Revision







Existing section A

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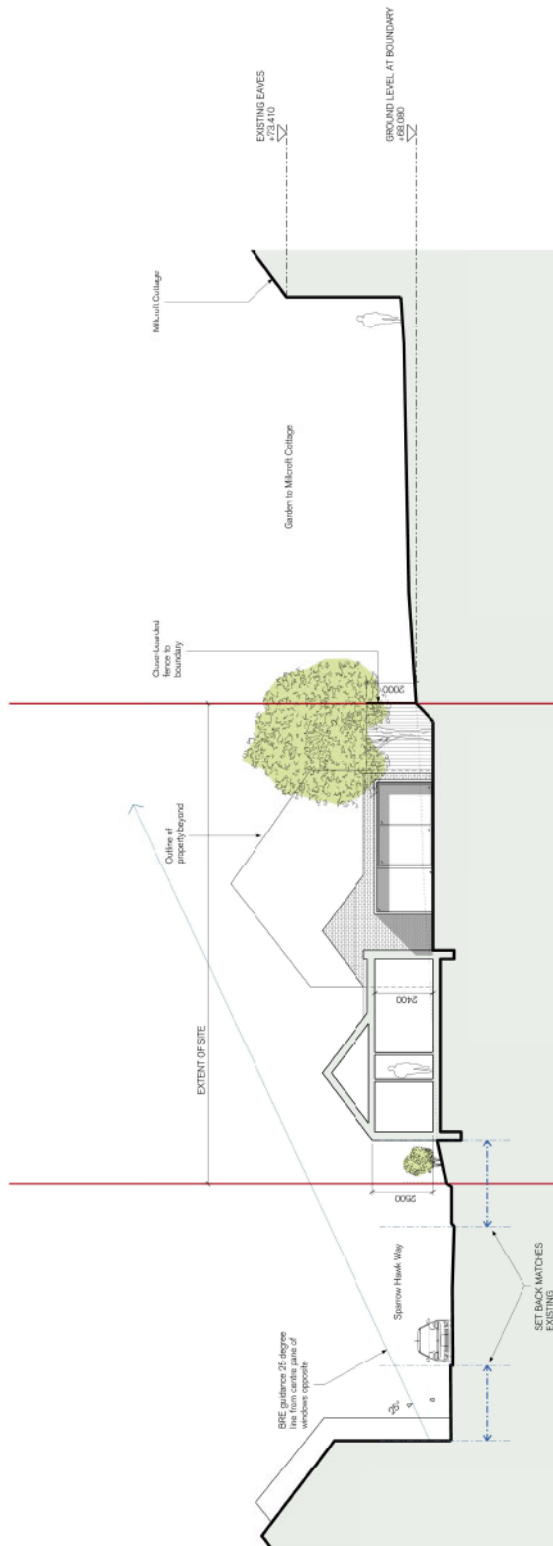
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<b>Project</b>		Lead Hill Cott, College, 35, Grafton Way, Brookworth
<b>Revision</b>	<b>Planning Date</b>	<b>Drawn</b>
A	17/06/25	MJ
		<b>Reason</b>
		PLANNING
<b>Drawing no.</b>	<b>Date</b>	
200.030	April 2021	
<b>Scale</b>	<b>Revision</b>	
1:100 @ A1 / 1:200 @ A3	A	





Proposed section A

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Status:	Planning	Drawn	Reason
Revision	Date		

Proposed section A

Drawing no.

Date

200 SK 170

June 2023

Revision

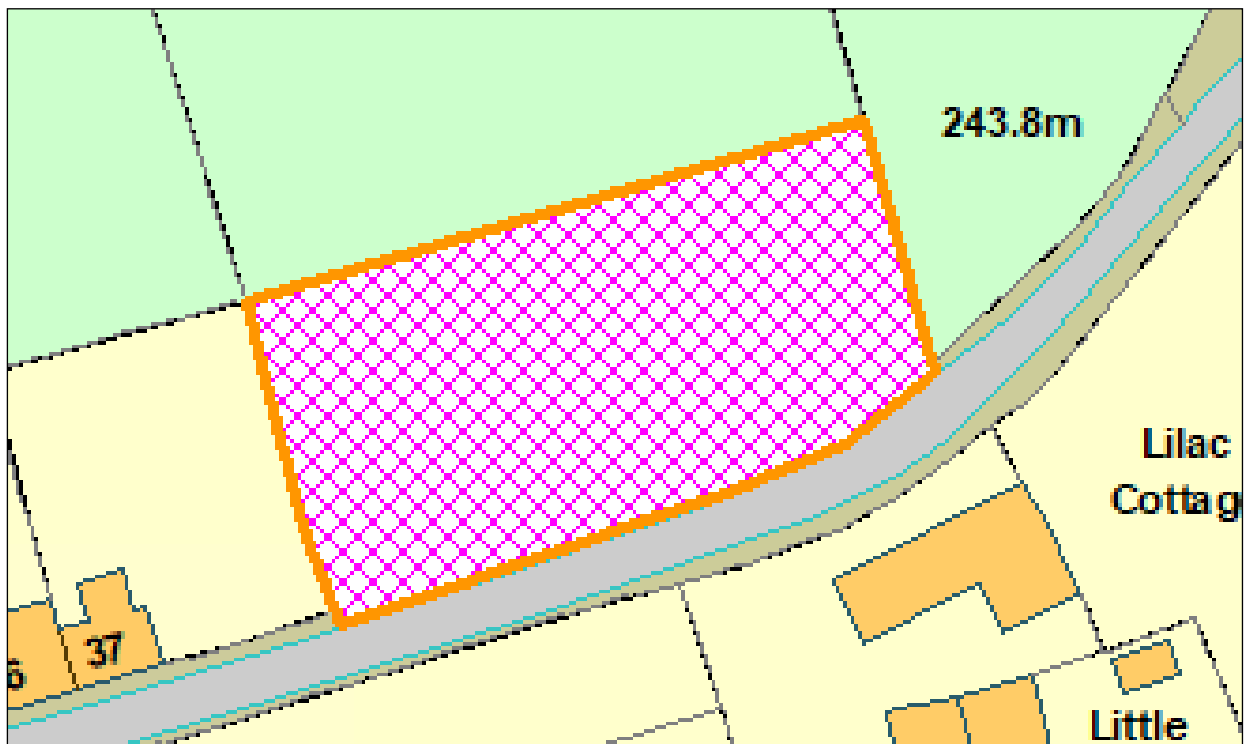
Scale 1:100 @ A1 / 1:200 @ A3



## Planning Committee

<b>Date</b>	25 May 2023
<b>Case Officer</b>	Anthony Foster
<b>Application No.</b>	22/01058/PIP
<b>Site Location</b>	Parcel 5004 Opposite Lilac Cottage Hawling
<b>Proposal</b>	Application for Permission in Principle for the construction of two dwellings.
<b>Ward</b>	Winchcombe
<b>Parish</b>	Hawling
<b>Appendices</b>	Site location plan
<b>Reason for Referral to Committee</b>	Called in for Committee determination by Councillor Mason, to assess the impact on the surrounding AONB  Objection to the scheme from Hawling Parish Council
<b>Recommendation</b>	Refuse

### Site Location



## 1. The Proposal

---

Full application details are available to view online at:

<http://publicaccess.tewkesbury.gov.uk/online-applications/applicationDetails.do?activeTab=summary&keyVal=RJ7X1NQDONB00>

- 1.1 This application is for a Permission in Principle (PIP), as provided for in the Town and Country Planning (Permission in Principle) Order 2017. The current application is the first stage of the process and seeks solely to establish whether the site is suitable in principle for the erection of up to two dwellings.
- 1.2 The Government's guidance sets out that the scope of the first stage of permission in principle is limited to the location, land use and amount of development. The site layout, design, access, landscaping, drainage and any other relevant technical matters would be considered at the 'technical details' stage.

## 2. Site Description

---

- 2.1 The application site is a currently undeveloped parcel of land located on the northern side of Hawling. The parcel of land is directly adjacent to the east of no 37 Hawling, opposite Lilac Cottage.
- 2.2 The site is 0.15ha in area providing a circa 38m road frontage and a depth of 15m, similar in depth to that of the neighbouring residential curtilage.
- 2.3 The site lies within the Cotswold AONB within the Cotswolds High Wold Plateau Character Area.
- 2.4 The site is located within Flood Zone 1 as defined by the Environment Agency's Flood Risk Maps.

## 3. Relevant Planning History

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Application Number	Proposal	Decision	Decision Date
T.3486	Construction of vehicular access.	PERMIT	20.12.1960
19/00418/FUL	Rear, side extensions and detached garage	PER	30.07.2019
60/00220/FUL	Construction of vehicular access.	PER	20.12.1960
20/01204/FUL	Erection of rear extensions, detached car port & stone boundary wall to replace fir hedge.	PER	04.03.2021
T.5890	Outline application for two detached houses with double garages. New vehicular accesses.	REFUSE	19.01.1972

## 4. Consultation Responses

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Full copies of all the consultation responses are available online at <https://publicaccess.tewkesbury.gov.uk/online-applications/>.

### 4.1 Hawling Parish Council –objection.

The submission from McLoughlin Planning on behalf of the applicant details policy frameworks from *Tewkesbury Borough Local Plan 2011-2031*, the *Cheltenham, Gloucester & Tewkesbury Joint Core Strategy 2017* and the *National Planning Policy Framework 2021*. While we do not challenge these frameworks as such, the McLoughlin interpretation in the application is narrow and partial, completely ignoring the unusual character of Hawling as an isolated settlement in an Area of Outstanding Natural Beauty (AONB) in the High Cotswolds. Such hamlets are increasingly rare and should be properly protected assets for both current and future generations. The use of a PIP application, often associated with brownfield developments, has also allowed that there are no contextual photographs of the site presented in the application nor any disclosure of the adjoining landholdings of the applicant.

Hawling lies either side of a narrow lane running east-west following the topography of a hilly and wooded valley containing a tributary of the river Windrush. It is not in any sense a continuous settlement awaiting the infilling of any undeveloped land, but a mosaic of houses, a church and a chapel and open agricultural land in continuous use since the village was re-established in its current location for use as pasture for the raising of livestock. The site of the proposed development, Parcel 5004, is not “in a central position ... that is part of the continuous built-up area of the settlement” as stated by McLoughlin (paragraph 4.20 of their Proposal) but abuts the “strong line of trees to the north of the site that form a natural northern edge to the village” (paragraph 4.15) and “relates more to the surrounding countryside than to the built-up area of the settlement” (see Paragraph 3.32 of the Local Plan which is cited in paragraph 4.19(b)). When viewed from the village lane, this agricultural land to the north (including the site in question) is seen within the broader visual context of the rising fields from the brook northwards towards Roel on the horizon and is an important heritage asset where livestock (chiefly sheep) have been reared, in the village settlement, adjacent to the lane and with access to it for droving. This is a quintessential feature of small Cotswold hamlets, few of which still survive in this form.

The north side of the lane, within which the property development is proposed, has had no new development since 1860. Photographs attached to this petition show the relation of the site to the village and to the surrounding agricultural landscape which is such an integral feature of the village. A new build on this site with no previous footprint fundamentally damages a key asset and character of the village as well as establishing a damaging precedent for further development both on this northerly side and elsewhere in the village, potentially on land owned by the applicant.

A further historical perspective on the non-development of land to the north of the lane is that the mid-nineteenth century constructions were solely undertaken by the diocese of Gloucester in connection with the provision of a new Rectory for St. Edward’s Church and a schoolhouse and associated dwelling for a school teacher to serve the surrounding villages. All the adjoining fields have remained to the present day as agricultural land for the raising of livestock as part of the wider landscape within the village.

National planning policy frameworks give great weight to conserving and enhancing landscape, scenic beauty and cultural heritage in Areas of Outstanding Natural Beauty. A change of use was approved by Tewkesbury Borough Council (Application number 06/00932/FUL, 11-07-2006) for conversion into residential accommodation of a schoolhouse and its adjoining cottage located on the north side of Hawling. Whilst the Planning Permission related to two entirely discreet properties with no internal connection, conditions were applied so that only a single residence could be created “to ensure that no separate additional dwelling unit is established on the site in this unsustainable location in the open countryside”.

Indeed, in an earlier ruling (Application number 88/91245/OUT, 26-04-1988), planning permission was refused for a detached new-build dwelling with double private garage that would have been in-filling on land adjacent to this schoolhouse. There was no footprint for such a construction. Planners emphasised that “the proposed development would have a visually detrimental and urbanising impact on the rural character and appearance of the area and would be harmful to the natural beauty of the landscape”.

Over twenty years ago a previous owner of Hawling Manor, Mr. Kevin Lomax, proposed a development of a number of houses on three adjoining paddocks in the village (reference: Minutes of Hawling Parish Meeting, 22nd October 2001). This did not proceed. Tewkesbury Borough Council was against it due to “the site being in an Area of Outstanding Natural Beauty, a green-field site, close to the archaeological remains of the medieval village, lack of services for additional people and so on”. It is on the middle of these three paddocks (parcel 5004) that Mr. Holder’s development is proposed. He is also believed to be the owner of the other two paddocks.

A similar approach was also adopted by Tewkesbury Borough Council Planners in their refusal of permission for development (Application number 07/01214/OUT, 17-09-2007) in the construction of a new dwelling at 31 The Cottage, which is located on the south side of the village on a quiet side lane. Reasons for refusal were:

- “The site lies in the open countryside outside any recognised settlement and in a location where new housing is strictly controlled, and it is not essential to the efficient operation of agriculture or forestry.”
- “The site is located outside any defined settlement, remote from the nearest facilities and services and in an area poorly served by public transport, and the introduction of further new general residential development at this location, would be likely to encourage reliance on the use of the private motor vehicle, contrary to the accessibility aims of national policy guidance and Policy T1 of the Gloucester Structure Plan Second Review.”
- “The proposed development would have a visually detrimental and urbanising impact on the rural character and appearance of the area and would be harmful to the natural beauty of the landscape.”

Sustainability or unsustainability of development is an important criterion in planning frameworks. In practice, Hawling has no amenities whatsoever other than a church and a chapel. There is no village hall, public house, school, shop, street lighting, public transport, mains drainage nor reliable mobile phone signal. In view of the isolated location there is no meaningful connection to surrounding villages in terms of sustainability. That is part of Hawling’s charm and character and one reason why people live here.

Adding further dwellings, therefore, can neither support nor sustain local services when in reality there are none (paragraph 5 above). They would however increase “reliance on the use of the private motor vehicle(s)” (paragraph 8 above).

McLoughlin Planning argue (inaccurately, as their percentage figure exceeds guidelines) that an increase of two in Hawling's 37 dwellings (5.4%) would not "represent an adverse cumulative impact in terms of the village's character or infrastructure". (Note: the number of households within the village is actually 34, which changes the percentage to nearer 5.9%.) That argument is completely rejected in view of the rebuttals put forward in this petition. Furthermore, starting from that base and projecting over 10 and 20 years, building 5.4% more a year would rapidly change the scale of the village, up to 57 houses within 10 years and 95 in 20 years. This would destroy the character, charm and assets of Hawling and its unique position in the North Cotswolds Area of Outstanding Natural Beauty.

In summary, previous planning decisions in Hawling confirm the unsuitability and unsustainability of newbuild developments on greenfield sites without a footprint. They are harmful to the natural beauty of the Hawling landscape, visually detrimental and have an urbanising impact on the appearance of the village. Approval of this development would establish a damaging precedent. The planning application should be rejected.

**4.2 Drainage Engineer** – No objection in principle. Conditions recommended.

**4.3 Ecologist** – Comment – Preliminary Ecological Appraisal required at Technical Details stage to assess impacts to habitats and protected species.

## **5. Third Party Comments/Observations**

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Full copies of all the representation responses are available online at <https://publicaccess.tewkesbury.gov.uk/online-applications/>.

**5.1** The application has been publicised through the posting of a site notice for a period of 21 days. A total of 20 representations have been received. Their comments are summarised below:

- Impact upon the appearance of the Cotswold AONB
- Impact upon the character of the Village
- The site lies outside of a defined settlement boundary
- There are very few local amenities in the village
- The village would be unable to sustain 2 new dwellings
- The proposal would add traffic noise and disturbance to what is currently a idyll village setting
- There would be an increase in the damage to the existing road infrastructure.
- Impact upon ecology due to the loss of undeveloped land
- This would set a worrying precedent
- The location is unsustainable in terms of access to amenities
- The existing road is dangerous an increase in the number of users will contribute further

**5.2** A petition has been received from local residents with 34 signatories objecting the application, through supporting the submission made by Hawling Parish Council.



## **6. Relevant Planning Policies and Considerations**

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### **6.1 Statutory Duty**

Planning law requires that applications for planning permission must be determined in accordance with the Development Plan unless material considerations indicate otherwise

The following planning guidance and policies are relevant to the consideration of this application:

### **6.2 National guidance**

National Planning Policy Framework (NPPF) and the National Planning Practice Guidance (NPPG)

### **6.3 Gloucester, Cheltenham and Tewkesbury Joint Core Strategy (JCS) – Adopted 11 December 2017**

- SD3 (Sustainable Design and Construction)
- SD4 (Design Requirements)
- SD5 (Green Belt)
- SD6 (Landscape)
- SD7 (The Cotswolds Area of Outstanding Natural Beauty (AONB))
- SD9 (Biodiversity and Geodiversity)
- SD10 (Residential Development)
- SD11 (Housing mix and Standards)
- SD14 (Health and Environmental Quality)
- INF1 (Transport Network)
- INF2 (Flood Risk Management)
- INF3 (Green Infrastructure)

### **6.4 Tewkesbury Borough Local Plan to 2011-2031 (TBLP) – Adopted 8 June 2022**

- RES3 (New Housing Outside Settlement Boundaries)
- RES4 (New housing at other rural settlements)
- RES5 (New Housing Development)
- RES12 (Affordable Housing)
- RES13 (Housing Mix)
- DES1 (Housing Space Standards)
- LAN2 (Landscape Character)
- NAT1 (Biodiversity, Geodiversity and Important Natural Features)
- ENV2 (Flood Risk and Water Management)
- TRAC1 (Pedestrian Accessibility)
- TRAC9 (Parking Provision)

### **6.5 Neighbourhood Plan**

None

## **7. Policy Context**

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**7.1** This application is for a Permission in Principle (PIP), as provided for in the Town and Country Planning (Permission in Principle) Order 2017.

- 7.2 The PPG advises that this is an alternative way of obtaining planning permission for housing-led development which separates the consideration of matters of principle from the technical detail. This consent route has two stages, the first stage establishes whether a site is suitable in principle, and the second stage, the technical details consent, is where the detailed development proposals are assessed.
- 7.3 The current application is the first stage of the process and seeks solely to establish whether the site is suitable in principle for the erection of up to two dwellings.
- 7.4 The Government's guidance sets out that the scope of the first stage of permission in principle is limited to the location, land use and amount of development. The site layout, design, access, landscaping, drainage and any other relevant technical matters would be considered at the 'technical details' stage.

## **8. Evaluation**

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- 8.1 The guidance (Paragraph 012 of the Planning Practice Guidance) for Permission in Principle states that the scope of the PIP is limited to:
- Location
  - Land Use
  - Amount

- 8.2 Each of these are discussed in below.

### **Five Year Housing Land Supply**

- 8.3 The NPPF at Chapter 5 seeks to deliver a sufficient supply of homes. Paras 78-80 deal with rural housing.
- 8.4 Under Paragraph 74 of the National Planning Policy Framework (NPPF) Local Planning Authorities are required to identify and update annually a supply of specific deliverable sites sufficient to provide a minimum of five years' worth of housing against their housing requirement set out in adopted strategic policies.
- 8.5 The adopted JCS became five years old on 11<sup>th</sup> December 2022, therefore as required by paragraph 74 of the NPPF the Council's 5 year housing land supply position was reconsidered, based on the standard method of calculation. As a result of the move to the standard method TBC moved to a single district approach. This has resulted in the addition of the JCS allocations within the boundary of Tewkesbury Borough, where deemed deliverable, which had previously been attributed to meet the housing needs of Gloucester City Council under Policy SP2 of the JCS.
- 8.6 On 7th March 2023, the Council's Interim Five Year Housing Land Supply Statement was published which sets out the position on the five-year housing land supply for Tewkesbury Borough as of 11th December 2022 (five years since the adoption of the JCS) and covers the five-year period between 1 April 2022 and 31 March 2027. The Interim Statement confirms that, when set against local housing need for Tewkesbury Borough calculated by the standard method, plus a 5% buffer, the Council can demonstrate a five year housing land supply of 6.68 years. It is therefore advised that, as the Council can demonstrate a five-year supply of deliverable housing sites, the presumption in favour of sustainable development (or "tilted balance") is not engaged in this case.

## **Location: Principle of Development**

- 8.7** The site is located beyond any recognised Residential Settlement Boundary as defined in the Adopted Tewkesbury Borough Plan Proposals Map and is thus located within the open countryside for the purposes of planning.
- 8.8** Policy SP1 of the JCS recognises the need for new development and Policy SP2 provides the spatial strategy for how that development will be distributed and delivered. Policy SP2 also states that in the remainder of the rural area, Policy SD10 will apply to proposals for residential development.
- 8.9** The application site is not allocated for housing development and therefore JCS Policy SD10 applies.
- 8.10** The site is not: SD10 (2) allocated for housing development, SD10 (3) previously developed land, SD10 (i) a rural exception site, SD10 (ii) infilling within the existing built-up area, SD10 (iii) brought forward via a community right to build order, SD10 (5) the re-use of a vacant or redundant building.
- 8.11** Policy SD10 (iv) requires the exploration of other specific exceptions or circumstances and thus it is necessary to consider the policies of the Tewkesbury Borough Plan.
- 8.12** Policy RES3 of the TBP sets out the circumstances where new housing outside of defined settlement boundaries may be considered acceptable in principle. Criterion 3 of this policy provides for very small-scale development at rural settlements in accordance with Policy RES4. The site is located within the village of Hawling, for which there is no defined settlement boundary, therefore Policy RES3 is applicable.
- 8.13** Policy RES4 of the TBP supports the principle of very small-scale residential development in rural areas within and adjacent to the built up area of other rural settlements (i.e. those not featured in the JCS settlement hierarchy) to support the vitality of rural communities and the continued availability of services and facilities in rural areas. Hawling is also not included within the settlement hierarchy and as such Policy RES4 is applicable
- 8.14** Policy RES4 is criteria-based policy and any proposal for development must satisfy each test. An assessment against each criterion is provided below:
- a) it is of a scale that is proportionate to the size and function of the settlement and maintains or enhances sustainable patterns of development;*
- 8.15** Hawling is a small, traditional settlement comprising 37 dwellings. It is characterised by a loose pattern of development either side of a narrow lane running east-west following the topography of a hilly and wooded valley containing a watercourse. Hawling Manor and the village church is located at the western edge of the village. To the east dwellings and farms form loose clusters of development interspersed by gaps comprising open agricultural grazing land. These gaps afford views of the wider valley and are an intrinsic element of the character of the settlement. The agricultural land and roadside boundaries are defined by distinctive, continuous stone boundary walls, mature trees and hedges.

**8.16** The application site is a large plot located centrally within the village on the northern side of the lane and forms part of a larger parcel of agricultural land that bleeds out to the edge of the village to the east. The application site is positioned alongside an existing pair of modest traditional semi-detached dwellings and sited opposite dwellings on the southern side of the road.

**8.17** While a proposed site layout and design is not required to be submitted as part of a PIP application, the application site is of a size that could accommodate two dwellings of a scale proportionate to the size and function of the settlement. A future Technical Details Consent (TDC) application would need to consider the specific layout and design characteristics to maintain the character of the settlement.

**8.18** Notwithstanding the above, the small, remote nature of Hawling, has limited community facilities (two places of worship) and poor pedestrian, cycle and public transport links to the nearest facilities. As a result, future occupiers of the site are likely to be heavily reliant on the use of the private motor vehicle for travel to work, shopping, leisure, community facilities and other usual travel destinations. In this respect it is not considered that development in this location would maintain or enhance sustainable patterns of development.

*b) it does not have an adverse cumulative impact on the settlement having regard to other developments permitted during the plan period; as a general indication no more than 5% growth will be allowed;*

**8.19** Hawling comprises circa 37 dwellings at present with the proposed development resulting in a growth in the settlement of 5.4%. While the resulting growth exceeds the 5% figure, this figure is termed as a 'general indication', not a finite threshold. Given the marginal increase it is considered that the development of two dwellings in the village would not result in an adverse cumulative impact.

*c) it complements the form of the settlement and is well related to existing buildings within the settlement;*

**8.20** As set out above the form of the settlement is characterised by a loose pattern of development interspersed by open agricultural fields bounded by traditional stone boundary walls, forming open vistas to the surrounding countryside. Whilst the application site would be sited adjacent to existing dwellings, it is considered that the agricultural land of which the application site forms part does not have the character of an under-developed 'infill' plot within the village but is an important green gap that forms part of the intrinsic character of the settlement. In that sense the siting of two dwellings in this location is not considered to complement the form and character of the settlement, despite being located adjacent to existing dwellings within the village.

*d) the site of the proposed development is not of significant amenity value or makes a significant contribution to the character and setting of the settlement in its undeveloped state;*

**8.21** As described above, the application site is considered to have significant visual amenity value in that this parcel of agricultural land forms an intrinsic part of the context, character and setting of the village in its undeveloped state.

*e) the proposal would not result in the coalescence of settlements;*

**8.22** The application site is located within the context of the settlement and given its remote location would not result in the coalescence of adjoining settlements.

*f) the site is not located in the Green Belt, unless the proposal would involve limited infilling in a village, limited affordable housing for local community needs (in accordance with Policy RES6) or any other exceptions explicitly stated within the National Planning Policy Framework.*

**8.23** The site is not located within the Green Belt.

**8.24** Given the above assessment against the criteria of TBP Policy RES4 the proposed location of the development is not considered to be acceptable in principle.

#### **Location - Landscape Impact**

**8.25** Section 15 of the NPPF relates to "Conserving and Enhancing the Natural Environment" and, at paragraph 174, specifies that planning decisions should contribute to and enhance the natural and local environment by protecting and enhancing valued landscapes, and by recognising the intrinsic character and beauty of the countryside.

**8.26** As set out above, the application site is located within the Cotswolds AONB. Paragraph 176 of the NPPF sets out that great weight should be given to conserving and enhancing landscape and scenic beauty in AONBs which, along with National Parks and the Broads, have the highest status of protection in relation to these issues. Paragraph 176 further states that the scale and extent of development within these designated areas should be limited, while development within their setting should be sensitively located and designed to avoid or minimise adverse impacts on designated areas.

**8.27** Policy LAN2 of the TBLP states that development must, through sensitive design, siting, and landscaping, be appropriate to, and integrated into, their existing landscape setting. In doing so, relevant landscape features and characteristics must be conserved and where possible enhanced, having regard to the Gloucestershire Landscape Character Assessment 2006 and the Cotswolds AONB Landscape Character Assessment 2003.

**8.28** Policy SD7 of the JCS sets out that all development proposals in or within the setting of the Cotswolds AONB will be required to conserve and, where appropriate, enhance its landscape, scenic beauty, wildlife, cultural heritage and other special qualities.

**8.29** Policy SD6 development will seek to protect landscape character for its own intrinsic beauty and for its benefit to economic, environmental and social well-being.

**8.30** In considering proposals for new housing development Policy RES5 of the TBP requires proposals to consider the impact of any development on the form, character and landscape setting of the settlement which will be extremely important considerations, particularly so where sites are located in or adjacent to the AONB. Care should be taken that such development, which could include minor infilling, does not harm open spaces or gaps that make a positive contribution to the character of the settlement, including views and vistas.

**8.31** As set out above, the application site is on undeveloped, agricultural land located within the settlement of Hawling but outside of an identified settlement boundary. The site also falls within the Cotswolds AONB.

**8.32** As set out above, it is considered that the application site forms part of the intrinsic character and landscape setting of the settlement in its undeveloped state. Accordingly, the development of the site would not serve to conserve or enhance the landscape scenic beauty of the Cotswolds AONB in this location.

#### **Land use**

**8.33** The guidance sets out that housing led development is an accepted land use for the PIP application process. The application is for up to 2 new dwellings and is therefore acceptable in principle.

#### **Amount**

**8.34** The application proposes up to 2 dwellings to be accommodated on site. The proposed number of units would be capable of being accommodated on the site and the amount is therefore acceptable in principle.

#### **Other Matters**

**8.35** It is not within the scope of this application to determine the details of site layout, design, access, landscaping or drainage which would be assessed through a TDC application.

**8.36** The County Highways Authority has not provided comments on this application. However, it is not within the scope of this application to determine the details of access to the site, this would be given full consideration at the technical approval stage. Permission in principle could only be refused on this basis if there were insurmountable reasons why the development as proposed would have an unacceptable impact on the operation of highway network.

**8.37** The Ecological Adviser has confirmed that a preliminary ecological appraisal should accompany any future technical details application.

**8.38** The Council's Drainage Engineer has indicated that full details relating to both surface water and foul drainage would be required to be submitted at the technical details stage to allow the full assessment of the scheme.

### **9. Conclusion**

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**9.1** The proposed development conflicts with policies SP2, SD6, SD7 and SD10 of the JCS and policies RES3 and RES4 of the TBP in respect of its location. It is considered that the benefits of delivering two dwellings would be limited and would not significantly and demonstrably outweigh the harms to the character and appearance of the area. In its undeveloped state the application site is a fundamental component of the context, character and setting of the village. Its development would result in a significant intrusion which would harm the intrinsic character and appearance of the village and locality.

## 10. Recommendation

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**10.1** In light of the above, it is recommended that permission in principle is **REFUSED** for the following reason.

1. The proposed development conflicts with policies SP2, SD6, SD7 and SD10 of the Gloucester, Cheltenham and Tewkesbury Joint Core Strategy 2011 - 2031 (December 2017), and policies RES3 and RES4 of the Tewkesbury Borough Local Plan 2011-2031 (June 2022) and the National Planning Policy Framework in that the proposed development does not meet the strategy for the distribution of new development in Tewkesbury Borough and the application site is not an appropriate location for new residential development. The site in its undeveloped state is a fundamental element of the context, character and setting of the village. Its development would result in a significant intrusion which would harm the intrinsic character and appearance of the village and locality.

## 11. Informatives

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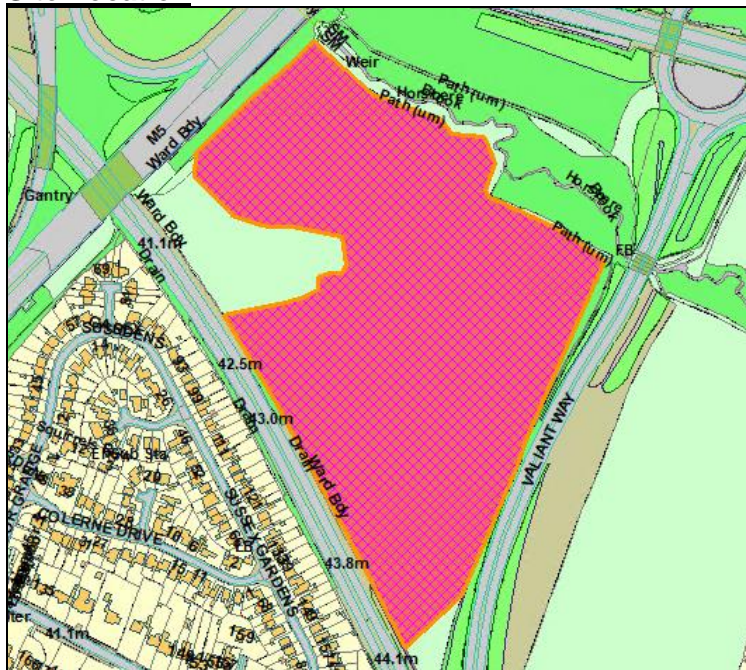
- 1 In accordance with the requirements of the NPPF the Local Planning Authority has sought to determine the application in a positive and proactive manner offering pre-application advice, detailed published guidance to assist the applicant and published to the council's website relevant information received during the consideration of the application thus enabling the applicant to be kept informed as to how the case was proceeding. However, as a consequence of the clear conflict with development plan policy no direct negotiation during the consideration of the application has taken place.



## Planning Committee

<b>Date</b>	18 July 2023
<b>Case Officer</b>	James Lloyd
<b>Application No.</b>	22/00751/APP
<b>Site Location</b>	Perrybrook, Brockworth
<b>Proposal</b>	Approval of reserved matters (appearance, landscape, layout and scale) for Phase 7 comprising development of new homes, landscape, open space and associated works.
<b>Ward</b>	Brockworth West
<b>Parish</b>	Brockworth
<b>Appendices</b>	<ul style="list-style-type: none"> <li>Site Location Plan</li> <li>Concept Master Plan</li> <li>Amended Phasing Plan</li> <li>Site Layout Plan</li> <li>Affordable Strategy Plan</li> <li>Tenure Strategy Plan</li> <li>Building Heights Plan</li> <li>Refuse &amp; Cycle Storage Plan</li> <li>Ecology Strategy Plan</li> <li>Materials Strategy Plan</li> <li>House Types x 28</li> <li>Street Scenes</li> </ul>
<b>Reason for Referral to Committee</b>	Reserved Matters application for the erection of more than 20 dwellings
<b>Recommendation</b>	Delegated Approve subject to deed of variation

### Site Location



## 1. The Proposal

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Full application details are available to view online at: [22/00751/APP | Approval of reserved matters \(Appearance, Landscape, Layout and Scale\) for Phase 7, comprising development of new homes, landscape, open space and associated works. | Phase 7 Perrybrook Brockworth \(tewkesbury.gov.uk\)](https://www.tewkesbury.gov.uk/22/00751/APP)

- 1.1 Outline planning permission (reference: 12/01256/OUT) was granted by the Secretary of State for Communities and Local Government in March 2016. The description of development was as follows:
- 1.2 *'Outline application for a mixed-use development of up to 1,500 dwelling, including extra care housing, community facilities including A1, A2, A3, A4 and A5 local retail shops (totalling 2,500m<sup>2</sup>), B1/B8 employment uses (totalling 22,000m<sup>2</sup>), D1 health facilities and formal and informal public open space (including means of access)'*
- 1.3 Phase 7 of the outline application sought to deliver approximately 290 dwellings, B1 (now Class E) (office and light industrial) and B8 (storage and distribution) employment uses and surface water attenuation. The current Reserved Matters application relates solely to the residential and surface water attenuation elements of this phase. The employment use would be brought forward as a separate reserved matters application as shown in a Revised Phasing Plan.
- 1.4 The scheme seeks to deliver 272 dwellings including 1-bedroom maisonettes, 1- and 2-bedroom bungalows and 2-, 3-, 4- and 5-bedroom houses. A mix of affordable tenured, and outright sale homes would be provided with an average density of 44 units per hectare.
- 1.5 In terms of affordable housing, a total of 34% affordable units would be provided, with a proposed tenure mix for the S106 affordable housing provision at 50% Affordable Rent and 50% Shared Ownership.
- 1.6 In addition to the s106 affordable housing provision of the 34% (92 units), the applicant intends to deliver a further "over-provision" of affordable housing on the site, referred to as additionality. Currently, the applicant is proposing an additionality of 46% (125 units), resulting in a residential scheme which is proposing a total of 217 units as affordable tenures across the site. The proposed additionality will be supported by funding from Homes England. The tenure and mix of the additionality includes the provision of 4- and 5-bedroom houses for Social Rent. There are also a range of tenures, rental, and home ownership options to include, affordable rent, social rent, shared ownership and rent to buy. The additional affordable housing mix is indicative at this stage and subject to change owing to market condition and on account of financial viability.
- 1.7 The remaining 55 units would be provided as Open Market Sales. This element of the development would be utilised, alongside the Homes England funding, to secure the increased level of affordable homes offered on the development.
- 1.8 A contemporary architectural style is proposed, using traditional dwellings and materials contained within Brockworth and the area surrounding phase 7. The application includes public open space to the north of the attenuation basin, a landscape buffer between new houses and Hucclecote bypass. Existing hedgerows on the site would be retained and reinforced with new planting. A LEAP would be provided in the north-eastern corner of the site.

- 1.9** A comprehensive Sustainable Drainage System (SuDS) has been approved for the wider development site. In accordance with Condition 8 of the outline consent and detailed Drainage Strategy and SuDs Management Plans for this phase have been submitted. Surface water from the site will discharge to the watercourse located in the north of the site or the existing surface water sewer. Additionally, surface water from the site will be attenuated in the attenuation basin.

## **2. Site Description**

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- 2.1** The outline application site relates to approximately 76.65 hectares of land located immediately north of the settlements of Brockworth and Hucclecote, known as 'Perrybrook' and referred to as 'the wider development site' throughout this report.
- 2.2** The wider development site is bounded on three sides by major roads: the M5 motorway, the A417 Brockworth bypass and the A46 Shurdington Road. The southern boundary of the site is formed by Mill Lane from its junction with the A46 in the east to the Horsbere Brook. The north and south orientation of Valliant Way and Court Road serve to divide the site into three distinct parcels. A network of Public Rights of Ways (PROW) also crosses the land, as well as a significant number of mature trees, some of which are covered by Tree Preservation Orders (TPO).
- 2.3** The banks of the Horsbere Brook, fall within Flood Zone 3 as defined by the Environment Agency's most up-to-date flood risk maps, but otherwise the land is designated within Flood Zone 1.
- 2.4** The listed Manorial complex of Brockworth Court is located just outside the wider site (but enveloped by it) to the south, which includes a Grade I listed church, a grade II\* listed Manor House and Tythe barn and some other grade II listed structures. A poorly maintained Perry Pear Orchard is located along the eastern boundary of the development, along Shurdington Road.

### **Reserved Matters Site Description**

- 2.5** The current reserved matters application relates to Phase 7 of the wider development site (see the approved phasing plan).
- 2.6** Phase 7 of the Perrybrook development is located to the eastern edge of Gloucester, adjacent to both Gloucester Business Park and Junction 11A of the M5 Motorway. The site is some 3 miles to the east of the City centre and is 5 miles to the southwest of central Cheltenham. Phase 7 is separated from the wider development by the Valiant Way dual carriageway. The phase comprises level agricultural land bound to the north by the A417, to the south the Hucclecote Bypass/Delta Way and to the west by the M5 Motorway. The wider Phase 7 extends to approximately 29.70 acres and is to be accessed via new roundabouts to both Delta Way and Valiant Way.

### 3. Relevant Planning History

Application Number	Proposal	Decision	Decision Date
12/01256/OUT	Outline application for a mixed-use development of up to 1,500 dwelling, including extra care housing, community facilities including A1, A2, A3, A4 and A5 local retail shops (totalling 2,500m <sup>2</sup> ), B1/B8 employment uses (totalling 22,000m <sup>2</sup> ), D1 health facilities and formal and informal public open space (including means of access).	SOSPER	31.03.2016
18/00109/APP	Approval of Reserved Matters (appearance, layout, landscaping and scale) comprising Phase 3 of Outline planning permission 12/01256/OUT for the erection of 225 no. dwellings with public open space, play area, and associated infrastructure, and including the discharge of Outline Conditions (as amended) 2 (reserved matters time limit), 5 (design compliance), 8 (surface water drainage strategy - all phases), 9 (floor levels - flood risk), 10 (sewage disposal - phase 3), 12 (trees), 24 (noise assessment - phase 3) and 28 (waste minimisation).	APPROV	23.05.2019
18/00410/APP	Approval of landscaping, layout, scale and external appearance of the formal sports area (excluding the Changing Room Facilities and associated car parking).	PER	07.09.2018
18/00864/APP	Approval of Reserved Matters (appearance, landscaping, layout and scale) comprising Phase 5 and Phase 2 (in part) of Outline planning permission 12/01256/OUT for the erection of 240 no. dwellings with public open space, play area, and associated infrastructure.	APPROV	16.08.2019
19/00537/APP	Approval of Reserved Matters (Appearance, Landscape, Layout and Scale) for Phase 1 of outline planning permission 12/01256/OUT for the erection of 135 dwellings with associated public open space and infrastructure.	APPROV	03.01.2020
22/00251/APP	Approval of reserved matters (appearance, landscape, layout, scale) for Phases 4 and 6 comprising development of new homes, landscaping, open space and associated works pursuant to outline permission 12/01256/OUT.	APPROV	21.03.2023

### 4. Consultation Responses

Full copies of all the consultation responses are available online at <https://publicaccess.tewkesbury.gov.uk/online-applications/>.

**Brockworth Parish Council** – Comments made, as summarised below:

- Should the application be submitted prior to Doctors Surgery being built
- Reduce the size of the garages to make gardens bigger
- Too much emphasis on cars
- Similarities with Coopers Edge – narrow roads
- Would like to see traffic enforcement (yellow lines)
- No joined up cycle routes or cycle lane provision
- Widen footpaths to have pedestrians and cyclists
- More trees, benches and a 20mph zone
- Where are the dog waste bins?
- Applicant/Contractor should abide by ecology report
- Leap appears too small
- No provision for older children – skatepark?
- Impact upon existing road network a concern
- Would like to see solar panels on each property
- Please note the Parish Council's transport vision statement

**Hucclecote Parish Council** - Hucclecote Parish Council has the following concerns:

- Impact of road noise on existing and new residents in the areas
- Please impose planning conditions for noise mitigation.
- Strongly urge the planning committee to visit the site to fully appreciate the conditions residents will be living in.

**County Highways Authority** – No objection subject to conditions.

**National Highways Authority** – No objection – Subject to the LPA being satisfied regarding noise matters and condition relating to additional drainage information.

**Lead Local Flood Authority** – No objection subject to condition.

**TBC Drainage & Flood Risk Officer** – No objection

**Environment Agency** – No objection subject to condition.

**Severn Trent Water** – No objection.

**Environmental Health Officer (Noise)** – No objection subject to conditions.

**Housing Enabling Officer** – No objection – the application complies with the S106 agreement of the outline permission. The applicant will need to secure the proposals by way of a Deed of Variation agreement before the issue of a planning consent.

**Landscape Advisor** – No objection, subject to conditions.

**Public Rights of Way Officer** – No objection, subject to Informatives.

**TBC Asset Management (Play Spaces)** – No objection but further information to be provided by way of condition.

**Ecology** – No objection subject to provision of Biodiversity Net Gain (BNG).

**County Minerals & Waste** – No objection.

**County Archaeologist** – No response received.

## **5. Third Party Comments/Observations**

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Full copies of all the representation responses are available online at <https://publicaccess.tewkesbury.gov.uk/online-applications/>.

- 5.1** The application has been publicised through the posting of a site notice for a period of 21 days. 1 no. representation has been received from local residents (summarised);
- There is a lack of self and custom build dwellings on this site, these should be provided as part of the housing mix.

## **6. Relevant Planning Policies and Considerations**

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### **6.1** Statutory Duty

Planning law requires that applications for planning permission must be determined in accordance with the Development Plan unless material considerations indicate otherwise

The following planning guidance and policies are relevant to the consideration of this application:

### **6.2** National guidance

National Planning Policy Framework (NPPF) and the National Planning Practice Guidance (NPPG)

### **6.3** Gloucester, Cheltenham and Tewkesbury Joint Core Strategy (JCS) – Adopted 11 December 2017

- Policy SP1 (The Need for Development)
- Policy SP2 (Distribution of New Development)
- Policy SD3 (Sustainable Design and Construction)
- Policy SD4 (Design Requirements)
- Policy SD6 (Landscape)
- Policy SD8 (Historic Environment)
- Policy SD9 (Biodiversity and Geodiversity)
- Policy SD10 (Housing Development)
- Policy SD11 (Housing Mix and Standards)
- Policy SD12 (Affordable Housing)
- Policy SD14 (Health and Environmental Quality)
- Policy INF1 (Transport Network)
- Policy INF2 (Flood Risk Management)
- Policy INF3 (Green Infrastructure)
- Policy INF6 (Infrastructure Delivery)
- Policy A3 (North Brockworth)

#### **6.4** Tewkesbury Borough Local Plan to 2011-2031 (TBLP) – Adopted 8 June 2022

- Policy RES5 (New Housing Development)
- Policy RES12 (Affordable Housing)
- Policy RES13 (Housing Mix)
- Policy DES1 (Housing Space Standards)
- Policy NAT1 (Biodiversity, Geodiversity and Important Natural Features)
- Policy LAN2 (Landscape Character)
- Policy NAT3 (Green Infrastructure: Building with Nature)
- Policy ENV2 (Flood Risk and Water Management)
- Policy TRAC1 (Pedestrian Accessibility)
- Policy TRAC2 (Cycle Network and Infrastructure)
- Policy TRAC3 (Bus Infrastructure)
- Policy TRAC9 (Parking Provision)

#### **6.5** Neighbourhood Plan

None

### **7. Policy Context**

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**7.1** Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that proposals be determined in accordance with the Development Plan unless material considerations indicate otherwise. Section 70 (2) of the Town and Country Planning Act 1990 provides that the Local Planning Authority shall have regard to the provisions of the Development Plan, so far as material to the application, and to any other material considerations.

**7.2** The Development Plan currently comprises the Joint Core Strategy (JCS) (2017), the Tewkesbury Borough Local Plan to 2011-2031 (June 2022) (TBLP), and a number of 'made' Neighbourhood Development Plans.

**7.3** The relevant policies are set out in the appropriate sections of this report.

**7.4** Other material policy considerations include national planning guidance contained within the National Planning Policy Framework 2021 and its associated Planning Practice Guidance (PPG), the National Design Guide (NDG) and National Model Design Code.

### **8. Evaluation**

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#### ***Conditional Requirements***

**8.1** The outline permission included conditions which required submission of information relating to the whole development with the first Reserved Matters Application (RMA). Other conditions required further information to be submitted with each phase of reserved matters. These conditions are summarised below:

- Condition 5 - Requires that all reserved matters and details required to be submitted pursuant to condition 1 shall be broadly in accordance with the principles and parameters described and identified in the Illustrative Masterplan, the Conceptual Masterplan and the Design and Access Statement. The applicant has submitted a design compliance statement with this application to demonstrate how the scheme complies with the Design and Access Statement and Masterplan documents.
- Condition 8 - Requires surface water drainage details to be submitted for

consideration. A drainage strategy, flood compensation and drainage layout details have been submitted with this reserved matters application.

- Condition 9 - Requires all floor levels of all properties to be set at a minimum of 600mm above the modelled 1 in 100 year flood level, including an allowance for climate change at the appropriate locations along the Horsbere Brook. These details have been submitted with the reserved matters application and the EA and LLFA have no objections.
- Condition 12 - Requires information on Trees and Landscaping. These details have been submitted with the reserved matters application. Tree specifications/conditions, tree loss and retention plans and protection measures are provided.
- Condition 20 – No building hereby permitted shall be occupied on Phase 7 of the development as shown on the approved Phasing Plan until a scheme of works broadly in accordance with the following plans has been submitted to and approved in writing by the Local Planning Authority:-
  - (i) Delta Way normal roundabout highway works as shown on plan no. 60007-TA-007 rev A;
  - (ii) (ii) the A417/Delta Way roundabout improvements works as shown on plan no. 60007-TA-008; and
  - (iii) (iii) the cycle/footbridge works shown on plan no. 60007-TA-012

A detailed scheme has been devised in respect of the above and discharge of condition applications have been submitted (22/00117/CONDIS & 22/00117/CONDIS) which are pending consideration.

- Condition 23 - Requires a written scheme of investigation for the relevant phase. These details have been submitted with the reserved matters application and County Council Archaeologist is satisfied with the information.
- Condition 24 - Requires that no development shall take place within any phase of the development until a Noise Assessment has been carried out by a suitably qualified person. The Noise Assessment shall particularly address the likely effects of road noise and noise from the Henley Bank Kennels on any proposed residential areas within the site. It shall provide details of measures to mitigate and minimise any identified adverse noise effects within those areas. It shall also specify measures to protect any individual properties as required. These details have been submitted with the reserved matters application.
- Condition 27 - Requires details of the proposed design and location of recycling and refuse storage arrangements within that phase. These details have been submitted with the reserved matters application.

**8.2** The outline permission was also subject to Section 106 agreements with the Borough Council and Gloucestershire County Council. These matters also need to be taken into account when considering this reserved matters application and are also discussed where relevant in the following sections of this report.



### ***Principle of development***

- 8.3** The principle of residential development at the site has been established through the grant of outline planning permission in 2016. This application relates to the approval of Phase 7 (residential and drainage attenuation only) reserved matters in respect of access, layout, appearance, landscaping and scale of the development.
- 8.4** The application is supported by a range of technical documents including the following:
- Planning Statement
  - Design Compliance Statement
  - Tree Reports
  - Noise Impact Assessment
  - Proposed Drainage Strategy & associated drawings
  - Materials, Boundary Treatments and Storey Height Plans
  - Proposed Adoptable Areas Plan
  - Proposed Cycle and Refuse Storage/Collection Plans.
  - Proposed Landscaping/planting Plans
  - Affordable Housing Layout plan
  - House Type Plans
  - LEAP Proposals
  - Ecology Strategy Plan
  - Parking Strategy Plan
- 8.5** In assessing these matters, it is also important to consider whether they accord with the principles and parameters described and identified in the Illustrative Masterplan, the Concept Master Plan and the Design and Access Statement all approved at Outline Stage through condition 5.

### ***Layout, appearance, scale and density***

- 8.6** The NPPF states that the creation of high quality, beautiful and sustainable buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable in communities. Policy SD4 of the JCS advises that new development should respond positively to and respect the character of the site and its surroundings, enhance local distinctiveness and the grain of the locality. Policy INF3 states that where green infrastructure assets are created, retained or replaced within a scheme they should be properly integrated into the design and contribute to local character and distinctiveness. Policy RES5 of the TBLP states that proposals should be of a design and layout that respects the character, appearance and amenity of the surrounding area and is capable of being integrated within it.
- 8.7** As mentioned above an 'Illustrative' and 'Conceptual' Masterplan layout was agreed as part of the outline consent. A number of important principles of good design and appropriate parameters were established during the determination of the outline consent, which were encapsulated in a detailed Design and Access Statement (DAS). The vision outlined in the DAS was for a development that respected its wider context and worked within the surrounding landscape. The DAS envisages a series of inter-connecting, locally distinctive and walkable neighbourhoods with fragmented edges abutting open space, set within a strong green framework linking to natural and heritage assets. As set out above, it is a conditional requirement that all RMAs shall be broadly in accordance with the principles and parameters described and identified in the Masterplans and the DAS.

- 8.8** In addition, Condition 5 of the outline consent requires a statement to be submitted with each RMA to ensure the design quality and design parameters set out at outline stage are adhered to in the detailed design. A Design Compliance Statement (DCS) has been submitted with this application which summarises the key areas of compliance with the design principles of the outline consent.
- 8.9** The proposal for Phase 7 includes a balance between developed and undeveloped areas with a scale of development that would be reflective of northern Brockworth, albeit in a denser form of development.
- 8.10** The proposal has sought to address some of the key considerations outlined within the DAS. This includes:
- Providing new road links through the site Valiant Way and the Hucclecote bypass to minimise new residents' usage of existing local roads.
  - Providing a new pedestrian and cycle link across Valiant Way
  - Providing new pedestrian and cycle links through the site to local facilities that are direct, safe, convenient, and enjoyable.
  - Avoiding development within the Flood Zone 2 area of the site
  - Proposing strategic native woodland planting to contain views whilst enhancing biodiversity and landscape character.
  - Avoiding dense urban development over two storeys in height
  - Making sure informal open space is accessible to all.
  - Opening up public access along Horsbere Brook; ensuring this public access does not detrimentally impact on existing properties or ecological habitat.
- 8.11** Access arrangements have been designed reflecting the DAS access principles which are to provide a clear hierarchy of routes and public spaces to enable safe navigation and movement through the site to include a network comprising a Primary Road through the site to link with the Employment Area. The Primary Street would be 6.75m wide and 2m wide grass verges are proposed either side of the road to accommodate street trees.
- 8.12** Much of the development is based around the Village Street Character Area principles which include a range of smaller, denser cottages, mews and terraces with hard landscaped street scene consisting predominantly of a mix of small scale 2 storey mews and cottages based around shared spaces/courtyards and some 2.0 storey terraces.
- 8.13** The small Village Margin Residential Character Area to the north of the site provides an informal edge to the development with dwellings overlooking the public open space area. The dwellings would be 2 storey, predominantly detached with some semi-detached. The dwellings would be arranged at a lower density. These houses have larger front and rear gardens. Parking would be off road generally on plot or in small groups in front of dwellings. On street parking would be provided in the form of visitor spaces.
- 8.14** The DAS sets out that that the scale of the development in these character areas would be between one, two and a half storey's high. The majority of dwellings on the site would be two storeys high with a number of single storey units to the south of the site. It is noted that there are No.9 maisonettes/flats which would be two storeys in height. The mix of houses would range between bungalows, terraced properties, semi-detached and detached houses as well as maisonettes/flats. It is considered that this mix of dwelling types and the scale of the properties would accord with the details set out within the DAS.

- 8.15** In terms of density, the larger portion of the site falls under the Village Street Character Area, which seeks to achieve a diverse range of smaller, denser cottages, mews and terraces, at a density of circa 40-45 dwellings per hectare. The smaller section of the site that incorporates the Village Margin Residential Character Area seeks to achieve a density of circa 30-35 dwellings per hectare. The proposed layout across the site achieves circa 44 dwellings per hectare, the larger detached and semi-detached properties being focused to the north, within the Village Margin Residential Character Area. Siting these properties here retains the lower density in this part of the site, while the higher density is focused more to the Village Street Character Area, in line with recommendations in the DAS.
- 8.16** In terms of appearance, both character areas seek to achieve building styles to reflect traditional architecture found within the Severn Vale and Cotswolds. The scheme proposes to use three different types of bricks, with a slate grey roof covering. There are several house types proposed, the scale and form of which are traditional. A contemporary approach has also been provided with the window details and use of contrasting materials. It is considered that this approach is acceptable as it takes direction from the scale of local building types in the area and incorporates a modern approach and influence. At this stage no material samples have been provided. Given this is an important element of the design, it is considered necessary to apply a condition requesting these details should the scheme be granted.
- 8.17** Concerns were raised with regard to elements of the originally submitted design and a revised layout has been submitted which provides improved permeability through the scheme, with a cycle/footpath to the western boundary of the site and more pathways through the green spaces to the north. There are also more street trees proposed. These changes have markedly improved the appearance of the scheme and the layout is considered to be broadly in accordance with the approved DAS and Masterplan.

#### ***Access and highway safety***

- 8.18** Policy INF1 of the JCS advises that proposals should ensure safe and efficient access to the highway network is provided for all transport modes and that the impact of development does not have a severe impact upon the highway network. Policy SD4 (vii) also requires development to be well integrated with the movement network within and beyond the development itself, ensuring links by other modes and to green infrastructure.
- 8.19** In support of the application a number of technical plans have been submitted, these include visibility layouts, vehicle tracking layouts and parking strategy plans. The County Highway Authority (CHA) reviewed the initial scheme advanced and commented that the details submitted required amendments in relation to providing safe and suitable layout and access arrangements. Revised plans have been received, reviewed, and now agreed by the CHA.
- 8.20** Given the above amendments, officers now consider that the road layout, block sizes and pedestrian links generally accord with what is shown in the 'Illustrative' and 'Conceptual' Masterplan layout and DAS. Furthermore, the proposal accords with the relevant design principles for street design and frontage design described in the different character areas. This allows for direct access to all units for both pedestrians and vehicles. The routes are all well-lit with good levels of natural surveillance.

- 8.21** Street trees have now been provided in accordance with the requirements of paragraph 131 of the NPPF, and this is considered acceptable. A large proportion of the streets have grass verges enhancing the quality of the street scene. The CHA has requested that should permission be granted a condition is added to ensure control over the species and planting of the street trees.
- 8.22** In regard to car parking, the County Highways Authority is satisfied that the development meets the car parking standards within the Addendum to Manual for Gloucestershire Streets. The majority of units have on-site car parking provisions which is integrated into the development such that the parking does not dominate the street scene. Areas of car parking within the public realm are also overlooked, reducing the risk of crime. Where properties don't benefit from a garage, separate cycle storage units are provided within rear gardens. Every dwelling would be provided with an electric vehicle charging point. There would be a provision of 54 visitor spaces (allocated & unallocated) as an addition to allocated residential parking for each plot.
- 8.23** Overall, it considered that the access, internal road layout and parking provision is acceptable and accords with the 'Illustrative' and 'Conceptual' Masterplan layout and DAS, Policy INF1 of the JCS and the NPPF.

### ***Trees, Landscaping and Ecology***

- 8.24** JCS Policy SD6 seeks to protect landscape character for its own intrinsic beauty and for its benefit to economic, environmental and social well-being. All applications will consider the landscape and visual sensitivity of the area in which they are to be located and which they may affect. JCS Policy SD4 (iv) requires the design of open space and landscaped areas to be of a high quality design, providing a clear structure and constitute an integral and cohesive element of the design. JCS Policy INF3 states that existing green infrastructure will be protected in a manner which reflects its contribution to ecosystem services.
- 8.25** The principle of the development in the open countryside adjacent to Brockworth, which is not subject to any landscape designation, has been established through the outline consent and the allocation of the site for housing in the JCS. Nevertheless, the site must be carefully designed to ensure its successful integration with Brockworth, the surrounding landscape and the other phases of the development.
- 8.26** The DAS and Masterplan approved through the outline consent developed a landscape strategy which includes, amongst other things, the retention of natural features of importance which would be linked by open spaces; strategic landscaping along the northern edge of the site and within new areas of open space along the brook; a network of swales along some roads and within open space; strategic corridors and 'green fingers' of open space; specimen structural tree planting along principal streets and play areas to provide opportunities to incorporate informal areas of play.
- 8.27** The landscape approach proposed for this phase seeks to retain, protect and enhance the landscape strategy as approved in the DAS and Masterplan of the outline consent. The Council's Landscape Advisor (LA) reviewed the initial and first revised scheme and identified a small number of shortcomings with the landscape approach.

- 8.28** The application site contains a number of areas of green infrastructure, including a green buffer along the western edge of the site adjacent to the Hucclecote By-pass. The existing corridor, which lies to the north of the site along the existing PROW and along the Horsbere Brook is retained and an area of public open space is provided adjacent to the attenuation pond and swales. The proposal seeks to provide a locally equipped area of play (LEAP) in the north-eastern corner of the site which connects to the existing footpath network. The open space would accommodate new routes and connections for walking whilst connecting up to the existing footpath network to the north of the site. The proposal seeks to maintain existing trees and hedges where possible, which would be integrated into the scheme. Furthermore, the proposal would include significant additional tree planting within the public open space, within the street scene, within plots as well as along the buffer zones adjacent to the Valiant Way.
- 8.29** The Council's Landscape Advisor (LA) has reviewed the initial submitted scheme and provided detailed comments that identified a number of shortcomings with the originally proposed landscape approach. The applicant has sought to address these matters through the submission of revised plans. The LA has subsequently confirmed that the majority of the concerns have now been addressed. It is considered that the proposed landscaping plans are generally acceptable and would provide an acceptable balance between formal and informal spaces.
- 8.30** The LEAP in the north-eastern corner of the site is located in accordance with the Concept Master Plan. However, concerns were raised by the LA and the Council's Asset Management Team regarding the quality of the proposed play equipment. The applicant has agreed to work on further details which could be secured by way of an appropriately worded condition should the application be granted.
- 8.31** The application has been informed by a Pre-development Tree Survey which includes details of protection during construction, which satisfied the requirements of Condition 12 of the outline permission.
- 8.32** An Ecological Strategy Plan and Phase 1 Preliminary Ecological Appraisal Perrybrook has been provided in support of the application. This provides details of where bat and bird boxes would be located, as well as hedgehog gaps, hibernation boxes and insect boxes. There are also reptile logs proposed as part of the strategy. The Council's Ecologist is satisfied with the findings and mitigation of the report.
- 8.33** Given the above, it is therefore considered that the proposed landscaping, impact upon the trees and ecological matters would result in a suitable scheme that would be broadly in accordance with the principles of the landscape strategy set out in the approved DAS and Illustrative Masterplan of the outline consent.

#### ***Existing and future residential amenity***

- 8.34** Policy SD4 (iii) requires that new development should enhance comfort, convenience and enjoyment through the assessment of the opportunities for light, privacy and external space, and the avoidance of mitigation of potential disturbance, including visual intrusion, noise, smell and pollution. Policy SD14 further requires that new development must cause no harm to local amenity, including the amenity of neighbouring occupiers.

### Noise impacts

- 8.35** The application site is located to the eastern edge of Gloucester, adjacent to both Gloucester Business Park and Junction 11A of the M5 Motorway. Phase 7 is currently separated from the wider development by the Valiant Way dual carriageway and to the south the Hucclecote Bypass/Delta Way and to the west by the M5 Motorway. Given its location there are several sources of noise generation, specifically from road traffic. The Parish Council has raised concerns regarding the impacts of new residents from the nearby M5 and By-passes.
- 8.36** Further to the above, the amenity of future residents of the development was considered as part of the outline consent, particularly with regards to the proximity of the site to the A417. Accordingly, Condition 24 of the outline consent requires that each reserved matters application which includes dwellings is to be accompanied by a Noise Assessment to identify any dwellings that would be likely to be affected by road noise. A Noise Assessment has been submitted in support of the application and the Environmental Health Officer (EHO) has been consulted in respect of the current scheme.
- 8.37** The submitted Noise Assessment demonstrates that the private external amenity (gardens) have areas which are at or below the World Health Organisation's guidelines for community noise of Leq,16hr 55dB(A) and the majority of gardens are in the range Leq,16hr 45-50dB. Figure AS12233/Fig3 of the Clark Saunders report identifies where the highest level of noise is likely to occur and how the site layout has made provision to ensure that the dwellings and rear gardens are located in those areas stated above.
- 8.38** The Councils' EHO advises that the submitted noise assessment summary and mitigation report by Clarke Saunders dated 9 May 2022 is satisfactory, however, the proposed noise mitigation measures detailed in the report must be implemented. Given this the EHO is satisfied that condition 24 can be discharged/approved for this phase of the development.
- 8.39** It is therefore considered the proposed development would result in acceptable levels of amenity being maintained for the existing residents and secured for future residents of the development.

### Residential amenity

- 8.40** Given the location of the application site, and that it is bisected from any existing residential development (the closest being to Sussex Gardens to the south) by the Hucclecote By-pass, it is considered that no harm would occur to the amenity of existing residents.
- 8.41** The distances and relationship between the proposed dwellings have been assessed. Where the dwellings are to be sited back-to-back a distance of at least 21 metres (first floor window to window) would be maintained. This distance is reduced accordingly where dwellings face onto each other at oblique angles which is acceptable as direct overlooking of rear elevations is reduced.
- 8.42** The DAS and Illustrative Masterplan of the outline consent seek to maintain a green buffer between the new dwellings on the southern edge and the existing Hucclecote By-pass. The submitted landscape details demonstrate that this buffer can be achieved and includes a range of new trees and native shrub planting and the retention of the existing trees and hedges.

- 8.43** In terms of the proposed internal layout itself, the dwellings would all have acceptable levels of outdoor amenity space that would not be unacceptably overlooked by adjacent units. Furthermore, there would be sufficient back-to-back distances between the proposed units, which would ensure good standards of amenity are achieved and maintained.

***Affordable housing – 106 Requirement***

- 8.44** Policy SD12 of the JCS sets out a minimum requirement of 40% affordable housing within the Strategic Allocation sites. It follows that where possible, affordable housing should be provided on site and be seamlessly integrated and distributed throughout the development. Affordable housing must also have regard to the requirements of Policy SD11 concerning type, mix, size and tenure. The design of affordable housing should also meet required standards and be equal to that of market housing in terms of appearance, build quality and materials.
- 8.45** The S106 agreement associated with the outline planning permission (dated 16 September 2015) required submission of an Affordable Housing Scheme (AHS) to be approved prior to the first reserved matters application. The Affordable Housing Scheme (Whole Site) (AHSWS) on behalf of ERLP2 and the Society of Merchant Venturers (September 2016 v2) has been approved pursuant to this requirement.
- 8.46** The phasing plan approved with the outline permission sets out indicative capacities for each of the phases. Phase 7 is expected to deliver a total of 290 dwellings. A deviation from this has been brought forward through this application which would result in a reduction in unit numbers to 272, a shortfall of 18 dwellings. The unit numbers have decreased due to the constraints of the site, which includes the Flood Zone and the noise impact issues raised with the Noise assessment. Whilst this delivery is lower than expected on the phasing plan the overall outline application sought to achieve up to 1,500 dwellings which provides some flexibility in the housing numbers as long as it does not exceed the 1,500.
- 8.47** The proposals account for the section 106 requirement to deliver 34% affordable, also as detailed in the approved affordable housing scheme. This approach maintains compliance with both the original s106 agreement and the approved affordable housing scheme. The proposed tenure mix for the S106 affordable housing provision remains at 50% Affordable Rent and 50% Shared Ownership in-line with the approved documents.
- 8.48** However, During the discussions with the Council's housing department an alternative to the approved S106 Affordable Provision has been proposed, which still remains at 34% in-line with the approved Affordable Housing Scheme and is based on a 50% Affordable Rent and 50% Shared Ownership. However, the unit mix for the affordable housing differs from the approved Affordable Housing Scheme. This change is detailed below:

<i>Unit</i>	<i>Affordable Rent - S106</i>	<i>Shared Ownership - S106</i>
<i>1 bed flat</i>	<i>9</i>	<i>0</i>
<i>1 bed flat</i>	<i>9</i>	<i>0</i>
<i>1 bed bungalow</i>	<i>5</i>	<i>0</i>
<i>2 bed bungalow</i>	<i>5</i>	<i>0</i>
<i>2 bed house</i>	<i>12</i>	<i>25</i>
<i>2 bed house</i>	<i>0</i>	<i>0</i>
<i>3 bed house</i>	<i>4</i>	<i>0</i>
<i>3 bed house</i>	<i>2</i>	<i>21</i>
<b>Total</b>	<b>46</b>	<b>46</b>

- 8.49** The Affordable Housing Scheme (AHS) for the wider development site identifies that no more than 40% affordable housing shall be provided across the whole site and the number of dwellings that this equates to per phase of development. Of the 600 total affordable housing units 425 will be 'General Affordable Housing' and 175 will be 'Extra Care Affordable Housing.'
- 8.50** The Councils Housing Enabling & Strategy Officer (HO) has been consulted and was co-consulted at pre-application stages early in 2022. It is noted that Phases 7 is not required to deliver any extra care provision. The HO is content with the proposed provision and the changes and advises that the mix better represents the changing needs and demographic of the local area. However, the changes would need to be secured by way of a Deed of Variation to the S106 – this is currently being undertaken by the applicant.

***Affordable housing – ‘Over provision’***

- 8.51** The proposed scheme is intended to be affordable led, In addition to the s106 affordable housing provision of the 34% (92 units), Platform Housing intends to deliver a further “over-provision” of affordable housing on the site, referred to as Additionality. Currently, Platform are proposing an additionality of 46% (125 units), resulting in a residential scheme which is proposing a total of 217 units being proposed as affordable tenures across the site. The proposed additionality will be supported by funding from Homes England.
- 8.52** The remaining 55 units would be Market Sales units and would be utilised to fund alongside the Homes England funding the increased level of affordable homes offered on the development. The aim of the development is to provide the maximum quantum of affordable housing.
- 8.53** The over provision and additional affordable housing mix for these units is indicative at this stage and subject to change owing to market condition and on account of financial viability and sits outside the existing S106 agreement.
- 8.54** At this stage the proposed indicative mix for the over provision would be as follows;

**Affordable Rent – Grant (Total 29)**

18 Two Bedroom Houses  
11 Three Bedroom Houses



### **Social Rent – Grant (Total 9)**

7 Four Bedroom Houses  
2 Five Bedroom Houses

### **Shared Ownership – Grant (Total 53)**

47 Three Bedroom Houses  
6 Four Bedroom Houses

### **Rent to Buy – Grant (Total 34)**

14 Two Bedroom Houses  
16 Three Bedroom Houses  
4 Four Bedroom Houses

### **Outright Sale (Total 55)**

22 Two Bedroom Houses  
19 Three Bedroom Houses  
14 Four Bedroom Houses

- 8.55** The mix includes the provision of 4- and 5-bedroom houses for Social Rent, which is a key priority of the Council currently. The current proposal features a broad range of tenures, rental, and home ownership options to include, affordable rent, social rent, shared ownership and rent to buy.
- 8.56** In respect to clustering, the affordable housing would on the whole exceed the maximum grouping of 25 units set out within the draft clustering plan for each phase. However, the submitted Tenure Strategy Plan outlines how the tenures across the site would be mixed with outright sale dwellings interspersed with affordable rent, shared ownership and social rent. The layout aims to provide as little clustering as possible. It is considered that the proposed affordable units would also be tenure blind and are equal to that of market housing in terms of appearance and materials which aids in the clustering impact.
- 8.57** The Housing Enabling Officer has been consulted on the application and has advised that the proposed affordable housing provisions in line with the S106 and the over provision are considered acceptable, subject to the agreement of the deed of variation.

### ***Deed of Variation***

- 8.58** As discussed above a Deed of Variation is required to the Section 106 agreement to update the following:
- MIP clause to allow for MVS-TT when Platform are entering the properties in to charge.
  - Capture the change in tenure mix of affordable units.
  - Increase the threshold of affordable units from 34% to 40%
  - Remove clause which states no single phase can deliver more than 50% of affordable housing.
- 8.59** The applicant has started the process with the Councils Legal Team.

### ***Foul and Surface Water Drainage***

- 8.60** JCS Policy INF2 (2) (iv) requires new development to incorporate Sustainable Urban Drainage Systems (SUDS) where appropriate to manage surface water drainage. Policy INF6 also requires that the infrastructure requirements generated by a proposal are met, including by adequate on and off-site infrastructure.
- 8.61** The principle of developing the site is established by the outline consent which includes an approved overarching drainage strategy for the whole site. A drainage strategy plan has been submitted as part of the current scheme in order to demonstrate how the site-specific drainage infrastructure would accord with the whole site drainage strategy.
- 8.62** Condition 8 of the outline consent required the first reserved matters application submitted in respect to the whole site to include a surface water drainage strategy for the entire site. This was submitted and approved as part of the reserved matters for phase 3. The condition also requires a detailed surface water drainage strategy to be submitted as part of any subsequent reserved matters application for that specific phase. A Drainage Strategy and SuDS Management Plan accompanies the application.
- 8.63** The application proposes an attenuation pond which would be located in the north-western corner of the application site (an area allocated for employment and surface water attenuation. This part of the site is covered by Flood Zone 1, 2 & 3 and the original design included raised embankments located within Flood Zone 2, which was likely to encroach into Flood Zone 3a over the lifetime of the development as a result of the impacts of climate change.
- 8.64** On this basis the Environment Agency (EA) and National Highways (NH) raised concerns about the location of the attenuation pond. It was recommended by the EA that basin was reconfigured so that no part of it or any associated embankment would encroach beyond the 40.2m AOD(N) contour. With this in mind the applicants sought to redesign the drainage proposals to remove the attenuation pond and the swale feature outside of Flood Zone 3a and largely from 2. The LLFA, EA & NH's were reconsulted and approved the proposed changes, however, would require additional information as to the specific details of the attenuation basin but are satisfied that this could be provided as a pre-commencement condition should permission be granted.
- 8.65** Severn Trent have been consulted and advise that there are no objections to the sewer connection and there are no capacity concerns in this area.
- 8.66** The lead Local Floor Authority (LLFA), Councils Flood Risk Engineer, Severn Trent and the Environment Agency have all considered the submitted strategy and raise no objection to the approval of reserved matters, in accordance with the engineering plans and management plans submitted.

## 9. Conclusion

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- 9.1 The details submitted demonstrate that the proposal complies with the principles of the outline application and the approved master plans. The application is affordable led which would result in some conflict with the Councils housing mix policies, however, the provision over an over supply of affordable housing welcomed. Concerns were raised as to the initial layout and design of the proposal; the applicant has worked with officers and statutory consultees to resolve these issues. The changes have resulted in the proposal now complying with the relevant policies outline in this report and all other material considerations.

## 10. Recommendation

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- 10.1 Considering the details discussed above, it is concluded that the proposal would accord with the outline consent and parameters therein and the proposed development would be acceptable in terms of access, layout, scale, appearance and landscaping.
- 10.2 The application is therefore recommended to be **Delegated Approval** subject to an agreed Deed of Variation.
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## 11. Conditions

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1. The development hereby approved shall be implemented in accordance with the following plans, documents and details:

### Layout Plans

Planning Layout - 21431\_5000 REV N  
Location Plan - 21431\_1030  
Materials Strategy Plan - 21431\_3170 REV D  
Boundary Strategy Plan - 21431\_3171 REV E  
Building Heights Strategy Plan - 21431\_3173 REV D  
Parking Strategy Plan - 21431\_3174 REV D  
Refuse & Cycle Strategy Plan - 21431\_3175 REV D  
Adoptable Areas Strategy Plan - 21431\_3176 REV D  
Ecology Strategy Plan - 21431\_3177 REV D  
Affordable Strategy Plan - 21431\_3178 REV D  
Substation and Bin Store - 21431\_6051

### Housetype Drawings

Housetype Pack  
Street Elevations - 21431\_3600 REV A  
Garage Types - 21431\_6050

### Landscape Plans

Soft Landscape Proposals (sheet 1 of 6) - GL1694 01 REV B  
Soft Landscape Proposals (sheet 2 of 6) - GL1694 02 REV B  
Soft Landscape Proposals (sheet 3 of 6) - GL1694 03 REV B  
Soft Landscape Proposals (sheet 4 of 6) - GL1694 04 REV B  
Soft Landscape Proposals (sheet 5 of 6) - GL1694 05 REV B  
Soft Landscape Proposals (sheet 6 of 6) - GL1694 06 REV B

## **Engineering Plans**

Visibility Layout – Overview B05680-CLK-XX-XX-DR-0105 REV P3  
Visibility Layout - Sheet 1 B05680-CLK-XX-XX-DR-0106 REV P2  
Visibility Layout - Sheet 2 B05680-CLK-XX-XX-DR-0107 REV P2  
Visibility Layout - Sheet 3 B05680-CLK-XX-XX-DR-0108 REV P2  
Visibility Layout - Sheet 4 B05680-CLK-XX-XX-DR-0109 REV P2

Vehicle Tracking Layout - Sheet 1 B05680-CLK-XX-XX-DR-0110 REV P2  
Vehicle Tracking Layout - Sheet 2 B05680-CLK-XX-XX-DR-0111 REV P2  
Vehicle Tracking Layout - Sheet 3 B05680-CLK-XX-XX-DR-0112 REV P2  
Vehicle Tracking Layout - Sheet 4 B05680-CLK-XX-XX-DR-0113 REV P2

Proposed Drainage Layout – Overview B05680-CLK-XX-XX-DR-0500 REV P4  
Proposed Drainage Layout - Sheet 1 B05680-CLK-XX-XX-DR-0501 REV P4  
Proposed Drainage Layout - Sheet 2 B05680-CLK-XX-XX-DR-0502 REV P4  
Proposed Drainage Layout - Sheet 3 B05680-CLK-XX-XX-DR-0503 REV P4

Engineering Layout – Overview B05680-CLK-XX-XX-DR-0700 REV P7  
Engineering Layout - Sheet 1 B05680-CLK-XX-XX-DR-0701 REV P7  
Engineering Layout - Sheet 2 B05680-CLK-XX-XX-DR-0702 REV P8  
Engineering Layout - Sheet 3 B05680-CLK-XX-XX-DR-0703 REV P8  
Engineering Layout - Sheet 4 B05680-CLK-XX-XX-DR-0704 REV P5  
Engineering Layout - Sheet 5 B05680-CLK-XX-XX-DR-0705 REV P3  
Engineering Layout - Sheet 6 B05680-CLK-XX-XX-DR-0706 REV P4

Proposed Flood Compensation Design B05680-CLK-XX-XX-DR-C-0720 REV P1

## **Reports**

Tree Report  
Preliminary Ecological Appraisal March 2023 Revision  
Noise Impact Assessment  
Affordable Housing Scheme (Phase)  
Operation and Maintenance Manual for Surface Water Drainage System  
Drainage Statement  
Design Compliance Statement  
Planning Statement  
Ecological Monitoring Report for Hazel Dormouse Perrybrook Final March 2023  
Great Crested Newt Habitat Suitability Survey  
Biodiversity Impact Assessment

Except where these may be modified by any other conditions attached to this permission.

Reason: To ensure that the development is carried out in accordance with the approved plans.

2. Notwithstanding the development hereby approved, no work above floor plate level shall be carried out until details and samples of all proposed external materials to be used (walls, roofs, hard landscaping, boundary walls, retaining walls, headwalls) have been submitted to and approved in writing by the Local Planning Authority. The development shall thereafter be implemented in accordance with the approved details.

Reason: In the interests of the appearance of the development and wider visual amenity.

3. Prior to occupation of each individual building hereby approved, the access, parking and turning facilities of that individual building shall first be provided as shown on drawing 21431/5000K.

Reason: To ensure conformity with submitted details and ensure safe and secure access arrangements for occupiers.

4. Notwithstanding the development hereby approved, no work above floor plate level shall be carried out until details of the attenuation basin landscaping have been submitted to and approved in writing by the Local Planning Authority. The submitted details shall include the type of fencing around the edge of the basin, the introduction of tree planting and native scrub within the basin, the provision of timber post and rail fence to the top of the headwall, and the cladding details for the proposed headwalls. The development shall thereafter be implemented in accordance with the approved details.

Reason: In the interests of the appearance of the development and wider visual amenity.

5. Prior to the commencement of the development hereby approved, a drainage report shall be submitted to and approved in writing by the Local Planning Authority. The report shall address the requirements of DfT Circular 01/2022 and include details of final design, the use of SUDS and floodplain compensation proposals, maintenance method statement and schedule. Surface water drainage shall thereafter be implemented and maintained in accordance with the approved details.

Reason: In the interest of the safe and efficient operation of the strategic road network, and to protect the integrity of the trunk road drainage asset.

6. Notwithstanding the development hereby approved, no work above floor plate level shall be carried out until details of all proposed street tree planting, root protection systems, future management plan, and the proposed times of planting, have been submitted to and approved in writing by the Local Planning Authority. All tree planting shall thereafter be carried out in accordance with the approved details.

Reason: To ensure the continued wellbeing of the trees in the interests of the amenity and environmental quality of the locality.

7. Notwithstanding the submitted details and prior to the commencement of the development hereby permitted, a Tree and Hedgerow Protection Plan detailing the location of protection measures and ground protection measures shall be submitted to and approved in writing by the Local Planning Authority. Tree and hedgerow protection measures shall thereafter be implemented and maintained in accordance with the approved details.

Reason: To ensure the continued wellbeing of the existing trees and hedgerows in the interests of the amenity and environmental quality of the locality.

8. Notwithstanding the submitted details, and before the development hereby permitted is occupied, full details of the LEAP (Local Equipment Area for Play) shall be submitted to and approved in writing by the Local Planning Authority. The details shall include details of all hard-surfacing materials proposed and proposed finished levels or contours, play equipment and soft landscaping details. The LEAP shall thereafter be implemented and maintained in accordance with the approved details.

Reason: To ensure the appropriate play facilities are delivered and in the interests of visual amenity.

9. The development hereby permitted shall be carried out in accordance with all of the internal and external measures detailed within the submitted noise report dated 9th May 2022 by Clarke Saunders.

Reason: To protect the noise climate and amenity of local residents

10. Notwithstanding the development hereby approved, no work above floor plate level shall be carried out until a detailed thermal assessment has been undertaken and submitted to and approved in writing by the Local Planning Authority. The assessment shall use dynamic thermal modelling with consideration given to all glazing zones, with a focus on glazing zones A and B. The assessment shall also include any proposed mitigation measures that are required. The development shall thereafter be implemented in accordance with the approved details.

Reason: To protect the amenity of local residents

## **12. Informatives**

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1. In accordance with the requirements of the NPPF the Local Planning Authority has sought to determine the application in a positive and proactive manner by offering pre-application advice, publishing guidance to assist the applicant, and publishing the to the Council's website relevant information received during the consideration of the application thus enabling the applicant to be kept informed as to how the case was proceeding.
2. The decision is to be read in conjunction with planning permission 12/01256/OUT including the associated S106 legal agreements.
3. The developer is advised that all pre-commencement conditions on outline approval ref: 12/01256/OUT shall be submitted to the LPA and approved in writing, prior to commencement of the development hereby approved.
4. The development hereby approved includes the construction of new highway. To be considered for adoption and ongoing maintenance at the public expense it must be constructed to the Highway Authority's standards and terms for the phasing of the development. You are advised that you must enter into a highway agreement under Section 38 of the Highways Act 1980. The development will be bound by Sections 219 to 225 (the Advance Payments Code) of the Highways Act 1980.

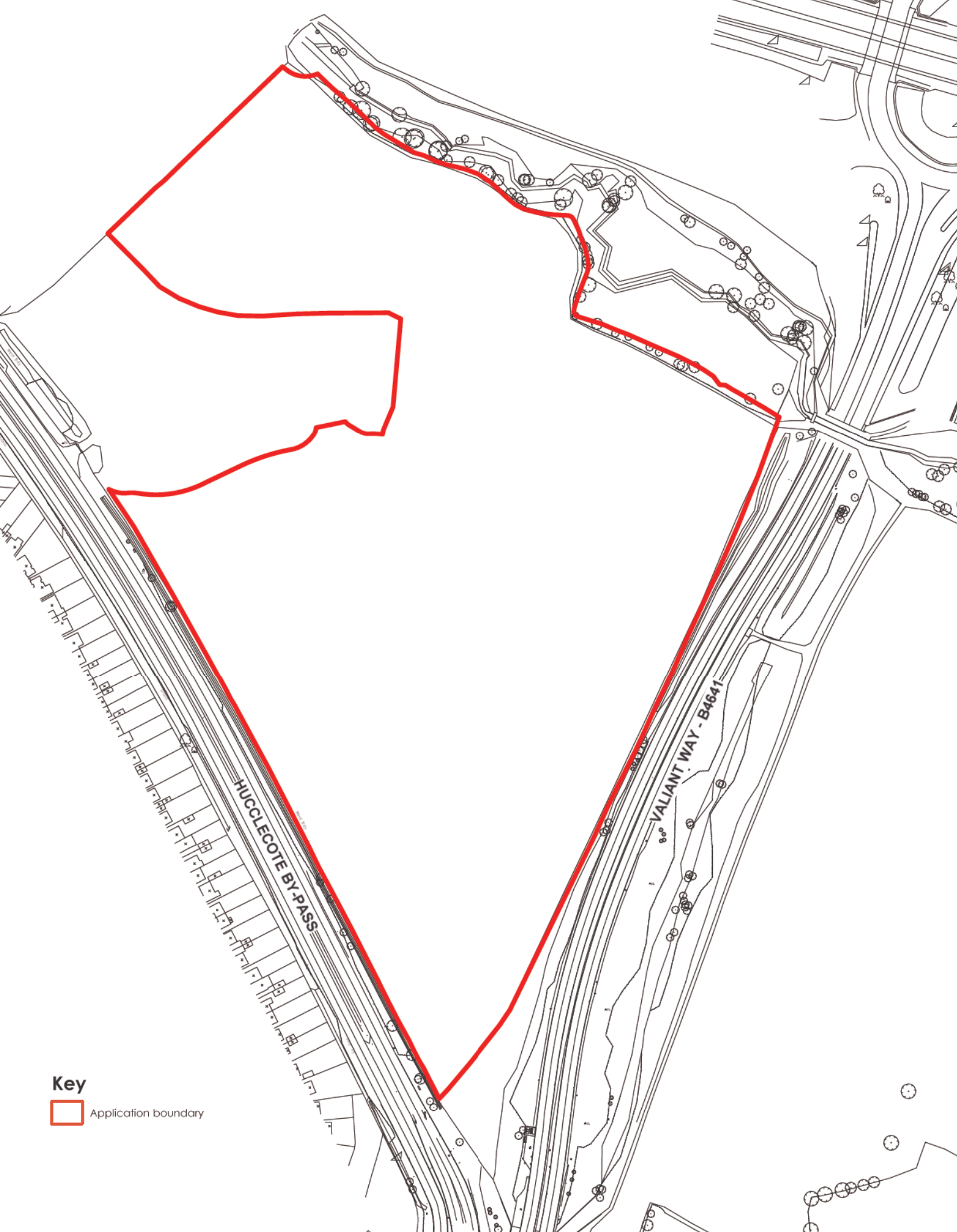
5. Contact the Highway Authority's Legal Agreements Development Management Team at [highwaylegalagreements@gloucestershire.gov.uk](mailto:highwaylegalagreements@gloucestershire.gov.uk). You will be required to pay fees to cover the Councils cost's in undertaking the following actions:
  - Drafting the Agreement
  - Set up costs
  - Approving the highway details
  - Inspecting the highway works
6. You should enter into discussions with statutory undertakers as soon as possible to co-ordinate the laying of services under any new highways to be adopted by the Highway Authority.
7. The Highway Authority's technical approval inspection fees must be paid before any drawings will be considered and approved. Once technical approval has been granted a Highway Agreement under Section 38 of the Highways Act 1980 must be completed and the bond secured.
8. All new streets must be tree lines as required in the National Planning Policy Framework. All proposed street trees must be suitable for transport corridors as defined by Trees and Design Action Group (TDAG). Details should be provided of what management systems are to be included, this includes root protections, watering and ongoing management. Street trees are likely to be subject to a commuted sum.
9. If there is a public right of way running through the site, the applicant will be required to contact the PROW team to arrange for an official diversion if required, if the applicant cannot guarantee the safety of the path users during the construction phase then they must apply to the PROW department on 08000 514514 or [highways@gloucestershire.gov.uk](mailto:highways@gloucestershire.gov.uk) to arrange a temporary closure of the right of way for the duration of any works.
10. We advise you to seek your own independent legal advice on the use of the public right of way for vehicular traffic.
11. The development hereby approved and any associated highway works required, is likely to impact on the operation of the highway network during its construction (and any demolition required). You are advised to contact the Highway Authorities Network Management Team at [Network&TrafficManagement@gloucestershire.gov.uk](mailto:Network&TrafficManagement@gloucestershire.gov.uk) before undertaking any work, to discuss any temporary traffic management measures required, such as footway, Public Right of Way, carriageway closures or temporary parking restrictions a minimum of eight weeks prior to any activity on site to enable Temporary Traffic Regulation Orders to be prepared and a programme of Temporary Traffic Management measures to be agreed.
12. Drainage arrangements shall be provided to ensure that surface water from the driveway and/or vehicular turning area does not discharge onto the public highway. No drainage or effluent from the proposed development shall be allowed to discharge into any highway drain or over any part of the public highway. Construction Management Plan (CMP)

**13.** It is expected that contractors are registered with the Considerate Constructors scheme and comply with the code of conduct in full, but particularly reference is made to “respecting the community” this says: Constructors should give utmost consideration to their impact on neighbours and the public.

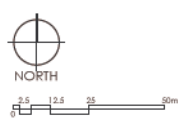
- Informing, respecting and showing courtesy to those affected by the work;
- Minimising the impact of deliveries, parking and work on the public highway;
- Contributing to and supporting the local community and economy; and
- Working to create a positive and enduring impression, and promoting the Code.

The CEMP should clearly identify how the principal contractor will engage with the local community; this should be tailored to local circumstances. Contractors should also confirm how they will manage any local concerns and complaints and provide an agreed Service Level Agreement for responding to said issues. Contractors should ensure that courtesy boards are provided, and information shared with the local community relating to the timing of operations and contact details for the site coordinator in the event of any difficulties. This does not offer any relief to obligations under existing Legislation.






**Key**  
 Application boundary



<small>Job No/Drawing No</small> 21431/1030	<small>Job Title</small> PH 7 Perrybrook Brockworth
<small>Scale</small> 1:1250	<small>Date</small> 02/22
<small>Drawn</small> PK	<small>Drawing Title</small> PH 7 Location Plan
<small>All Dimensions to be checked on site</small>	
<small>OS Licence No: -</small>	



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- 1 Employment B1 (Offices and light industry) and B2 (Storage and distribution) uses for 20% of floor, building surface where appropriate
- 2 Residential 2m, all built reserved for future phasing, 30% of floor
- 3 Community facilities (Library, health care and other uses of local, regional and regional importance) and other uses of local, regional and regional importance
- 4 Sports and leisure facilities (Sports, leisure, health, and other uses of local, regional and regional importance)
- 5 Community facilities (Library, health care and other uses of local, regional and regional importance) and other uses of local, regional and regional importance
- 6 Community facilities (Library, health care and other uses of local, regional and regional importance) and other uses of local, regional and regional importance

- 6 Village street residential character area: The character of these areas would consist of street frontages, terraces and cottages with a mix of architectural styles and materials. The street frontages would be a mix of traditional and modern styles. The terraces and cottages would be a mix of traditional and modern styles. The street frontages would be a mix of traditional and modern styles. The terraces and cottages would be a mix of traditional and modern styles.
- 7 Village street residential character area: The character of these areas would consist of street frontages, terraces and cottages with a mix of architectural styles and materials. The street frontages would be a mix of traditional and modern styles. The terraces and cottages would be a mix of traditional and modern styles. The street frontages would be a mix of traditional and modern styles. The terraces and cottages would be a mix of traditional and modern styles.
- 8 Rural Edge residential character area: The character of these areas would consist of street frontages, terraces and cottages with a mix of architectural styles and materials. The street frontages would be a mix of traditional and modern styles. The terraces and cottages would be a mix of traditional and modern styles. The street frontages would be a mix of traditional and modern styles. The terraces and cottages would be a mix of traditional and modern styles.

- Primary streets: These streets would be characterized by some or all of the following:
  - 20m wide road
  - 10m wide footpath
  - On street parking where appropriate
  - 20m wide road
  - 10m wide footpath
  - On street parking where appropriate
  - 20m wide road
  - 10m wide footpath
  - On street parking where appropriate
- Secondary streets: These streets would be characterized by some or all of the following:
  - 10m wide road
  - 5m wide footpath
  - On street parking where appropriate
  - 10m wide road
  - 5m wide footpath
  - On street parking where appropriate
  - 10m wide road
  - 5m wide footpath
  - On street parking where appropriate
- Tertiary streets: These streets would be characterized by some or all of the following:
  - 5m wide road
  - 2m wide footpath
  - On street parking where appropriate
  - 5m wide road
  - 2m wide footpath
  - On street parking where appropriate
  - 5m wide road
  - 2m wide footpath
  - On street parking where appropriate

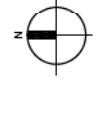
- Employment B1 (Offices and light industry) and B2 (Storage and distribution) uses for 20% of floor, building surface where appropriate
- Residential 2m, all built reserved for future phasing, 30% of floor
- Community facilities (Library, health care and other uses of local, regional and regional importance) and other uses of local, regional and regional importance
- Sports and leisure facilities (Sports, leisure, health, and other uses of local, regional and regional importance)
- Community facilities (Library, health care and other uses of local, regional and regional importance) and other uses of local, regional and regional importance
- Community facilities (Library, health care and other uses of local, regional and regional importance) and other uses of local, regional and regional importance



# Perrybrook, Brockworth

## Conceptual Masterplan

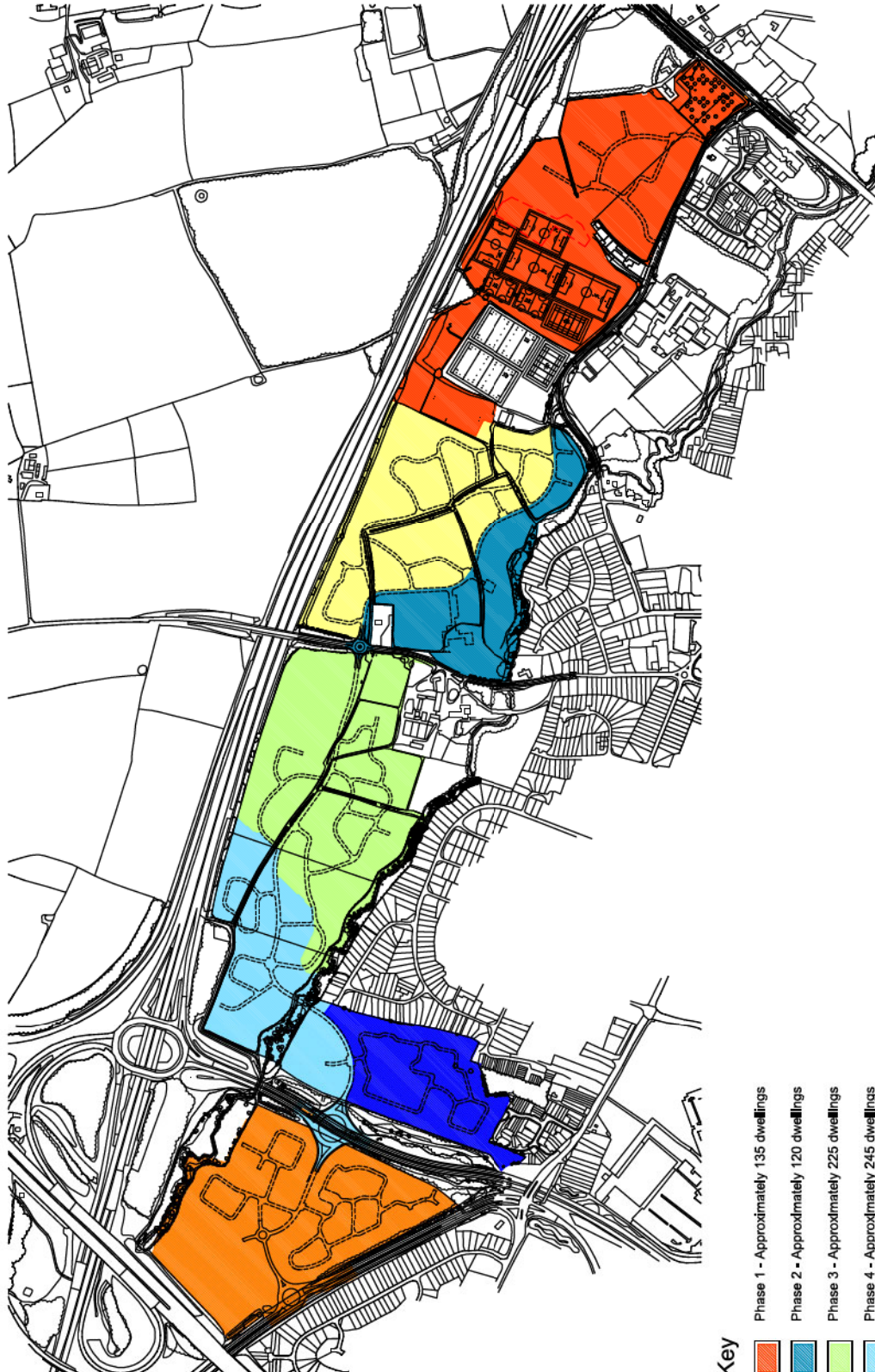
To be read in conjunction with Illustrative Masterplan and Design and Access Statement



**hunterpage**  
 CONSULTING ARCHITECTS  
 100, The Boulevard, Brockworth, Gloucestershire, GL3 7LJ  
 T: 01452 876100  
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**mhp**  
 MASTERPLAN  
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 100, The Boulevard, Brockworth, Gloucestershire, GL3 7LJ  
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 E: info@mhp.co.uk  
 W: www.mhp.co.uk





**Key**

- Phase 1 - Approximately 135 dwellings
- Phase 2 - Approximately 120 dwellings
- Phase 3 - Approximately 225 dwellings
- Phase 4 - Approximately 245 dwellings
- Phase 5 - Approximately 295 dwellings
- Phase 6 - Approximately 190 dwellings
- Phase 7 - Approximately 290 dwellings



**Perrybrook, Brockworth**  
Site Phasing Plan

Rev:	Date:	Drawn:
01	10/06/11	AT
02	10/06/11	AT
03	10/06/11	AT
04	10/06/11	AT
05	10/06/11	AT
06	10/06/11	AT
07	10/06/11	AT
08	10/06/11	AT
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99	10/06/11	AT
100	10/06/11	AT

**Project:** Perrybrook, Brockworth

**Clients:** ERLP 2 Ltd and The Society of Merchant Venturers

**Title:** Phasing Plan for Development

**Drawing number:** 10.67.111

**Status:** FOR PLANNING

**Drawn By:** DAL

**Checked By:** AT

**Date:** 28-02-12

**Scale @ A2:** N.T.S.



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**Affordable Strategy**

- Affordable rent - S106
- Shared ownership - S106

178

D	Strategy updated to reflect the revised planning layout 5000N.	PK	7/4/23
C	Strategy updated as per clients email on 24/04/23	AS	25/4/23
B	Strategy updated to reflect the revised planning layout 5000L	LG	22/3/23
A	Strategy updated to reflect the revised planning layout 5000K	MNR	22/02/23
Amendments		By	Date

**PLANNING**

Job No/Drawing No: 21431/3178D Job Title: Perrybrook Brockworth  
 Scale: 1:1000 Date: 04/22 Drawn: LG Drawing Title: PH 7 Affordable Strategy Plan  
 @ A2



**PH 7 PERRYBROOK BROCKWORTH AFFORDABLE STRATEGY PLAN**



Unit	Size (sqm)	Size (sqft)	Affordable Rent - 100%	Shared Ownership - 50%	Affordable Rent - Grant	Social Rent - Grant	Shared Ownership - 25%	Rent to Buy - Grant	Outright Sale	Total
1 bed flat	45.0	481	0	0	0	0	0	0	0	0
1 bed flat	54.0	580	0	0	0	0	0	0	0	0
1 bed bungalow**	50.0	536	0	0	0	0	0	0	0	0
1 bed bungalow**	58.0	619	0	0	0	0	0	0	0	0
1 bed house	70.0	749	0	0	0	0	0	0	0	0
1 bed house	75.0	799	0	0	0	0	0	0	0	0
1 bed house	80.0	849	0	0	0	0	0	0	0	0
1 bed house	85.0	899	0	0	0	0	0	0	0	0
1 bed house	90.0	949	0	0	0	0	0	0	0	0
1 bed house	95.0	1000	0	0	0	0	0	0	0	0
1 bed house	100.0	1050	0	0	0	0	0	0	0	0
1 bed house	105.0	1100	0	0	0	0	0	0	0	0
1 bed house	110.0	1150	0	0	0	0	0	0	0	0
1 bed house	115.0	1200	0	0	0	0	0	0	0	0
1 bed house	120.0	1250	0	0	0	0	0	0	0	0
1 bed house	125.0	1300	0	0	0	0	0	0	0	0
<b>Total</b>			<b>48</b>	<b>48</b>	<b>20</b>	<b>4</b>	<b>53</b>	<b>34</b>	<b>54</b>	<b>237</b>

Units to be designed to 100% minimum standard



**Tenure Strategy**

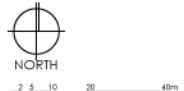
- Affordable rent - S106
- Shared ownership - S106
- Affordable rent - Grant
- Social rent - Grant
- Shared ownership - Grant
- Rent to buy - Grant
- Outright sale

179

- E Tenures amended as per email received on 09/06/23. PK 12/6/23
- D Strategy updated to reflect the revised planning layout 5000N. PK 7/6/23
- C Strategy updated to reflect the revised planning layout 5000L. LG 22/3/23
- B Strategy updated to reflect the revised planning layout 5000K. MNR 22/2/23
- A Tenures amended as per email received on 28/02/22. LG 7/3/22

**PLANNING**

Job No/Drawing No: 21431/3172E Job Title: Perrybrook, Brockworth  
 Scale: 1:1000 Date: 02/22 LG Drawing Title: PH 7 Tenure Strategy Plan  
 All Dimensions to be checked on site OS Licence No: -  
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**PH 7 PERRYBROOK BROCKWORTH TENURE STRATEGY PLAN**





**Storey Heights Strategy**

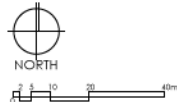
- 2 storey
- 1 storey

180

- D Strategy updated to reflect the revised planning layout 5000N. PK 7/6/23
  - C Strategy updated to reflect the revised planning layout 5000L. LG 22/3/23
  - B Strategy updated to reflect the revised planning layout 5000K. MNR 22/2/23
  - A Strategy updated to reflect the revised planning layout. LG 8/3/22
- Amendments By Date

**PLANNING**

Job No/Drawing No 21431/3173D	Job Title Perrybrook Brockworth
Scale 1:1000	Date 02/22
Drawn LG	Drawing Title PH 7 Building Heights Strategy Plan
All Dimensions to be checked on site OS Licence No: -	
pad Design Ltd - The Tobacco Factory - Raleigh Road - Bristol BS3 1TF - Tel: 0117 9320097 - www.pad-design.com	








**PH 7 PERRYBROOK BROCKWORTH BUILDING HEIGHTS STRATEGY PLAN**





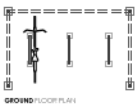
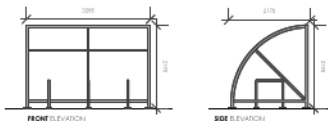


**Refuse & Cycle Storage Strategy**

-  Non-recyclable Household Waste (240ltr)
-  Recyclable Household Waste (55ltr)
-  Bin Collection Point (see isochrones for distances)
-  Secure cycle storage
-  Secure cycle storage (Maisonnettes)

**Note:** MFGS - 25m Travel distance for refuse collection operatives from highway to collection point.

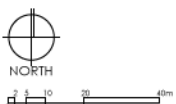
CYCLESHELTER FOR 6 SPACES (Maisonnettes)



D	Strategy updated to reflect the revised planning layout 5000N.	PK	7/6/23
C	Strategy updated to reflect the revised planning layout 5000L.	LG	22/3/23
B	Strategy updated to reflect the revised planning layout 5000K.	MNR	22/02/23
A	Strategy updated to reflect the revised planning layout.	LG	8/3/22
Amendments		By	Date

**PLANNING**

Job No/Drawing No: 21431/3175D  
 Job Title: Perrybrook Brockworth  
 Scale: 1:1000  
 Date: 02/22  
 Drawn: LG  
 Drawing Title: PH 7 Refuse & Cycle Strategy Plan  
 OS Licence No: -  
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**Ecology Strategy**

- ▲ Bat Boxes (south facing)  
25no. Vivara Woodstone Mid  
25no. Schwegler IFR Boxes
- Bird Boxes (north-east facing)  
25no. Swift Boxes  
25no. House Sparrow
- Hedgehog Gaps (1 gap per fence run)
- Hedgehog Hibernation Boxes -10 no.
- ⬡ Insect Box
- ▬ Reptile Refugia (logs / brush piles / open compost piles)
- Wildlife Pond
- Green Space

D	Strategy updated to reflect the revised planning layout 5000N.	PK	7/6/23
C	Strategy updated to reflect the revised planning layout 5000L.	LG	22/3/23
B	Strategy updated to reflect the revised planning layout 5000K.	MNR	22/02/23
A	Strategy updated to reflect revised report.	LG	11/3/22
Amendments		By	Date

**PLANNING**

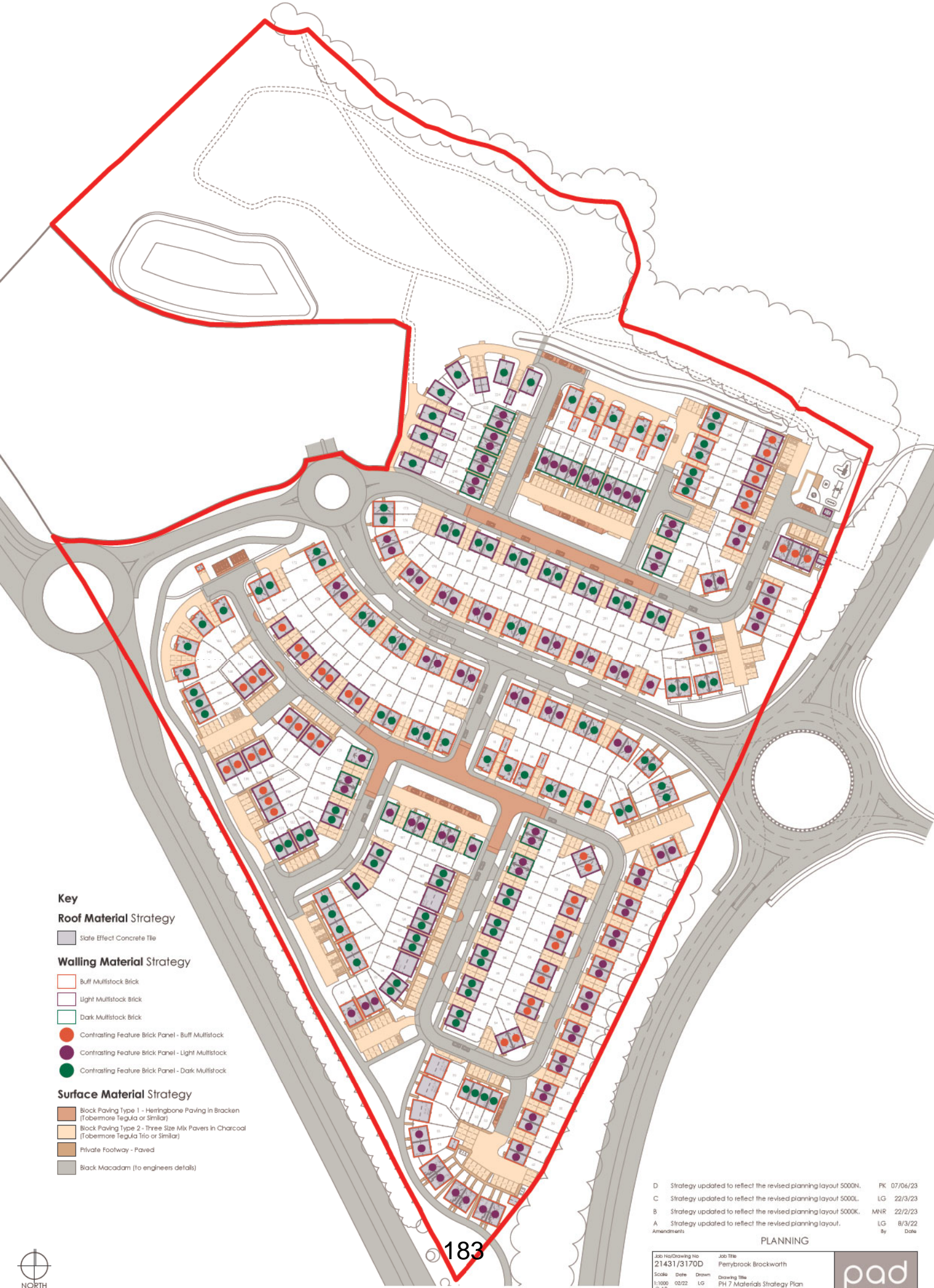
Job No/Drawing No	Job Title
21431/3177D	Perrybrook Brockworth
Scale	Drawn
1:1000	08/22 AS
© A2	Drawing Title
	PH 7 Ecology Strategy Plan
All Dimensions to be checked on site OS Licence No: -	
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**PH 7 PERRYBROOK BROCKWORTH ECOLOGY STRATEGY PLAN**

182





**Key**

**Roof Material Strategy**

- Grey square: Slate Effect Concrete Tile

**Walling Material Strategy**

- Orange square: Buff Mullstock Brick
- Light purple square: Light Mullstock Brick
- Dark purple square: Dark Mullstock Brick
- Green circle: Contrasting Feature Brick Panel - Buff Mullstock
- Purple circle: Contrasting Feature Brick Panel - Light Mullstock
- Dark green circle: Contrasting Feature Brick Panel - Dark Mullstock

**Surface Material Strategy**

- Brown square: Block Paving Type 1 - Herringbone Paving In Bracken (Tobemore Tegula or Similar)
- Tan square: Block Paving Type 2 - Three Size Mix Pavers In Charcoal (Tobemore Tegula Trio or Similar)
- Light brown square: Private Footway - Paved
- Grey square: Black Macadam (To engineers details)

D	Strategy updated to reflect the revised planning layout 5000N.	PK	07/06/23
C	Strategy updated to reflect the revised planning layout 5000L.	LG	22/3/23
B	Strategy updated to reflect the revised planning layout 5000K.	MNR	22/2/23
A	Strategy updated to reflect the revised planning layout.	LG	8/3/22
Amendments		By	Date

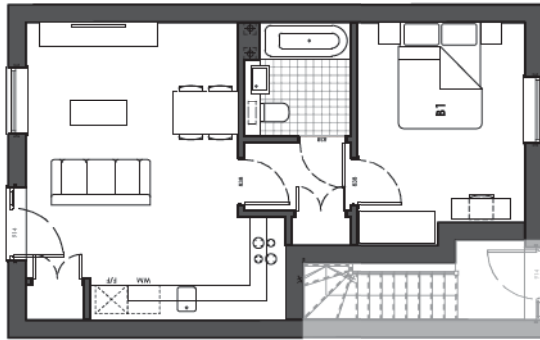
**PLANNING**

Job No/Drawing No 21431/3170D	Job Title Perrybrook Brockworth
Scale 1:1000	Date 02/22
Drawn LG	Drawing Title PH 7 Materials Strategy Plan
All Dimensions to be checked on site OS Licence No: -	
pad Design Ltd - The Tobacco Factory - Raleigh Road - Bristol BS3 1TF - Tel: 0117 9330097 - www.pad-design.com	



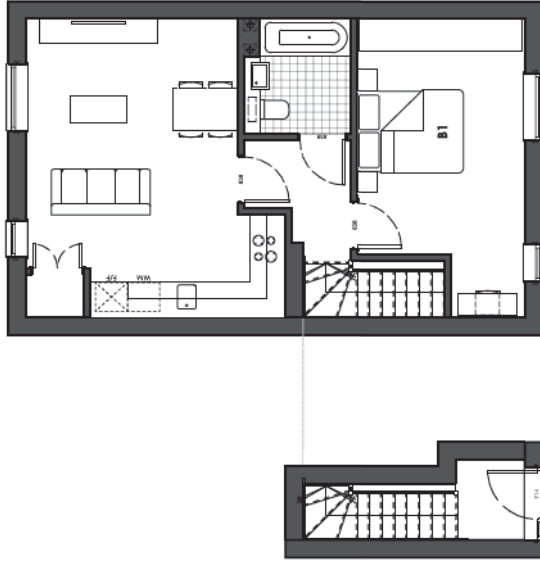
**PH 7 PERRYBROOK BROCKWORTH MATERIALS STRATEGY PLAN**

183



**GROUND FLOOR FLAT**

**GROSS INTERNAL AREA 45.6 M<sup>2</sup> / 491 FT<sup>2</sup>**  
(MEASURED TO FINISHED FACE OF INTERNAL PERIMETER)



**FIRST FLOOR FLAT**

**GROSS INTERNAL AREA 54.1 M<sup>2</sup> / 582 FT<sup>2</sup>**  
(MEASURED TO FINISHED FACE OF INTERNAL PERIMETER)

**1 BED. 2 PERSON MAISONETTE FLOOR PLANS**

A GF Apt 1 external door moved 225mm. Additional SVP added. LG 3/12/21  
Amendments Stairwell adjusted. By Date

**PLANNING**

Job No/Drawing No	Job Title
21431/6000.1A	PH 7 Perrybrook
Scale	Drawing Title
1:100	1B2P Maisonette - Floor Plans
@ A3	
All Dimensions to be checked on site CS Licence No: -	
pad Design Ltd - The Tobacco Factory - Raleigh Road - Bistol BS3 1TF - Tel: 0117 9530039 - www.pad-design.com	





**1 BED. 2 PERSON MAISONETTE ELEVATIONS\_V1**

B Front elevation gable removed. Roof pitch increased from 27.5 to 30 degrees. LG 15/2/22

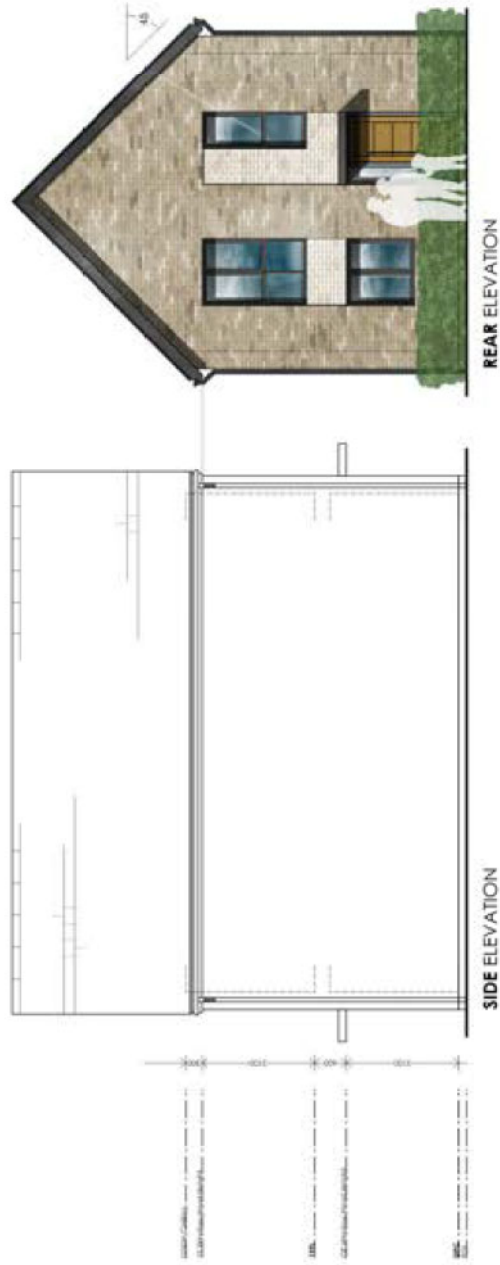
A GF Apt 1 external door moved 225mm. LG 3/12/21  
Amendments By Date

**PLANNING**

Job No/Drawing No	Job Title
21431/6000.2B	PH 7 Perrybrook
Scale	Drawing Title
1:100	182P Maisonette - Elevations_V1
0 A3	LG
All Dimensions to be checked on site. OS Licence NZ.	
pad Design Ltd - The Tobacco Factory - Raleigh Road - Rotorua 8318P - Tel: 017 930009 - www.pad.design.com	







**1 BED. 2 PERSON MAISONNETTE ELEVATIONS\_V2**

Amendments

By Date

**PLANNING**

Job No/Drawing No	Job Title
21431/6000.3	PH 7 Perrybrook
Scale	Drawing Title
1:100	182P Maisonette - Elevations_V2
# A3	IG
Date Drawn	
11/21	
Date Checked	
05 Licence NZC	
All Dimensions to be checked on site	

pad  
 www.pad.co.nz  
 1000 Wellington Street, Wellington, New Zealand  
 Tel: 017 930009 - Fax: 017 930008 - www.pad.design.com



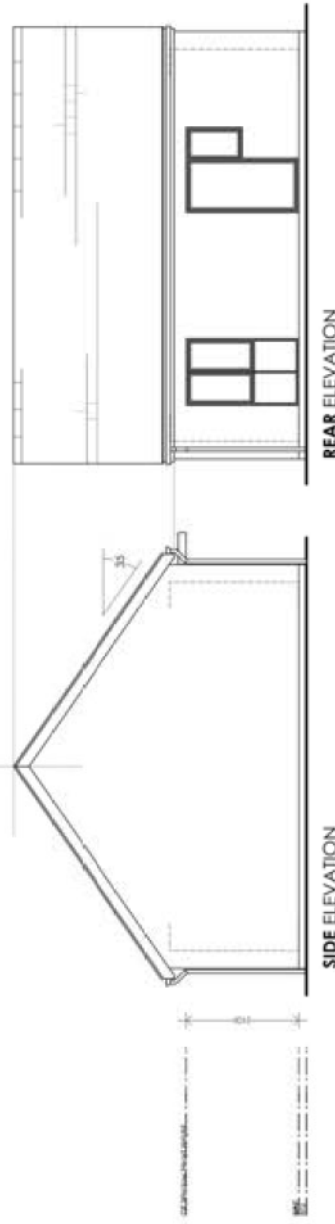
**GROUND FLOOR**

**GROSS INTERNAL AREA 50.3 M<sup>2</sup> / 541 FT<sup>2</sup>**  
(MEASURED TO FINISHED FACE OF INTERNAL PERIMETER)



**FRONT ELEVATION**

**SIDE ELEVATION**



**SIDE ELEVATION**

**REAR ELEVATION**

**1 BED. 2 PERSON BUNGALOW FLOOR PLAN & ELEVATIONS**

IG 3/12/21

- A Bathroom changed to wetroom. Dwelling checked for Part M4(2) compliance. Rear door combined with kitchen window. Full height window in B1 swapped with window in living room. Bungalow increased in height by 75mm.

Amendments

By Date

PLANNING

Job No/Drawing No	Job Title
21431/6001.1A	PH 7 Perrybrook
Scale	Drawing Title
1:100	182P Bungalow - Floor Plan & Eles
11/21	IG
182P	OS Licence No.
All Dimensions to be checked on site.	

pad  
www.pad-design.com

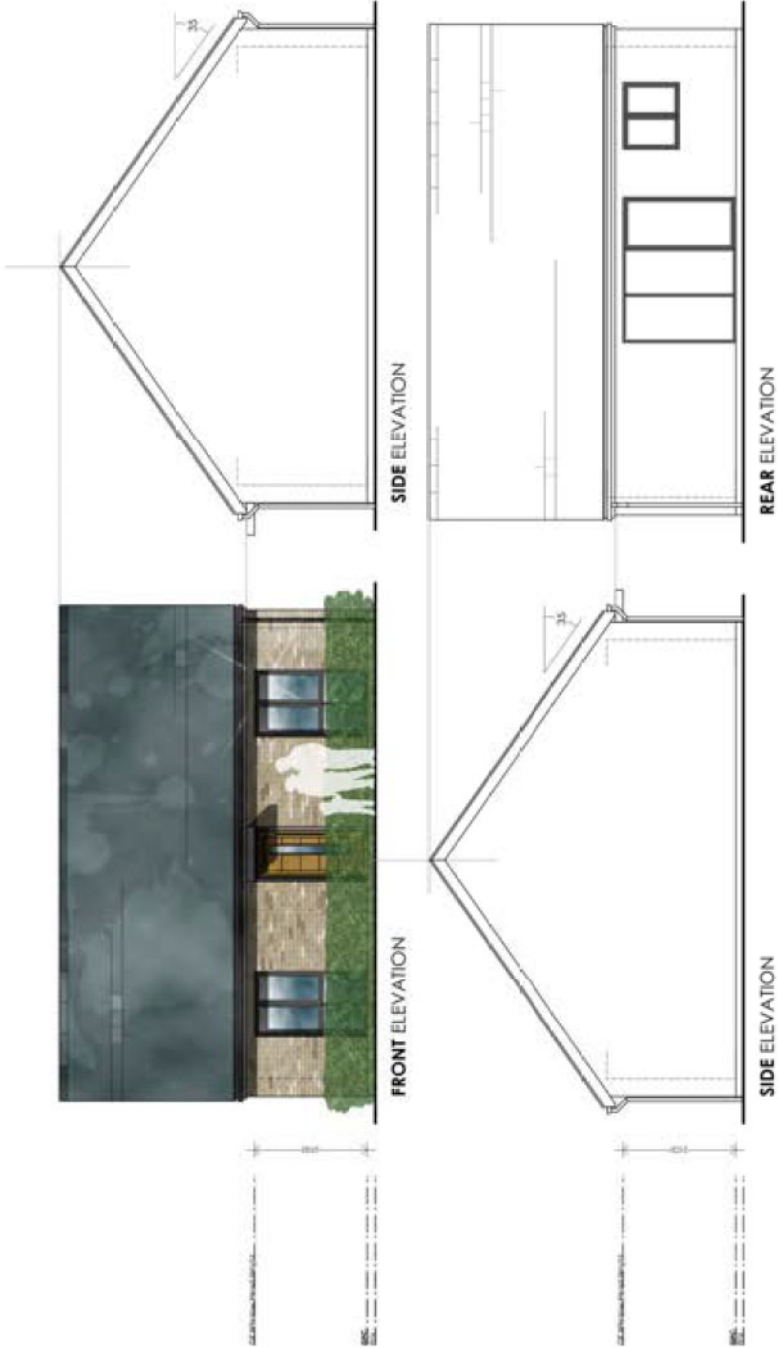
pad Design Ltd - The Tobacco Factory - Keshigh Road - Retail B33 1BP - Tel: 0117 9530095 - www.pad-design.com





**GROUND FLOOR**

**GROSS INTERNAL AREA 69.4 M<sup>2</sup> / 747 FT<sup>2</sup>**  
(MEASURED TO FINISHED FACE OF INTERNAL PERIMETER)



**2 BED. 4 PERSON BUNGALOW FLOOR PLAN & ELEVATIONS**

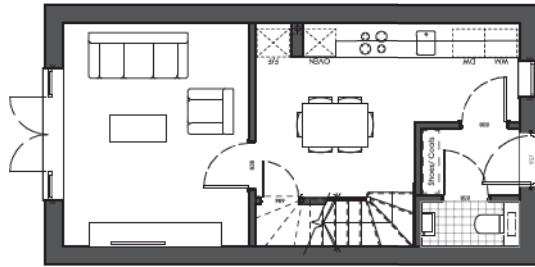
- B Glazing panel added to front door. B1 wall moved 450mm into lounge area.
- A Bathroom changed to wetroom. Dwelling checked for Part M4(2) compliance. Living/dining furniture reconfigured. Hall to living room door repositioned.

**PLANNING**

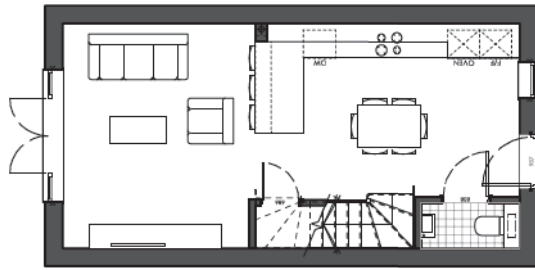
Job No/Drawing No	Job Title
21431/6002.1B	PH 7 Perrybrook
Scale	Drawing Title
1:100	284P Bungalow - Floor Plan & Eles
# A3	LG
All Dimensions to be checked on site - OS Licence No. -	
pad Design Ltd - The Tobacco Factory - Keshigh Road - Retail B3.1B - Tel: 0177 953035 - www.pad-design.com	



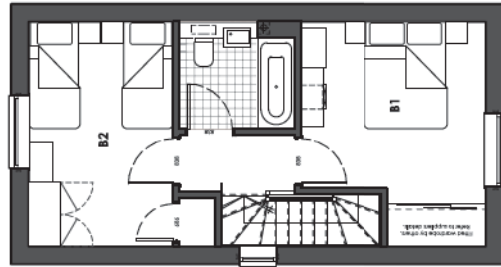




**GROUND FLOOR Option 2**



**GROUND FLOOR Option 1**



**FIRST FLOOR**

**GROSS INTERNAL AREA 71.9 M<sup>2</sup> / 774 FT<sup>2</sup>**  
(MEASURED TO FINISHED FACE OF INTERNAL PERIMETER)

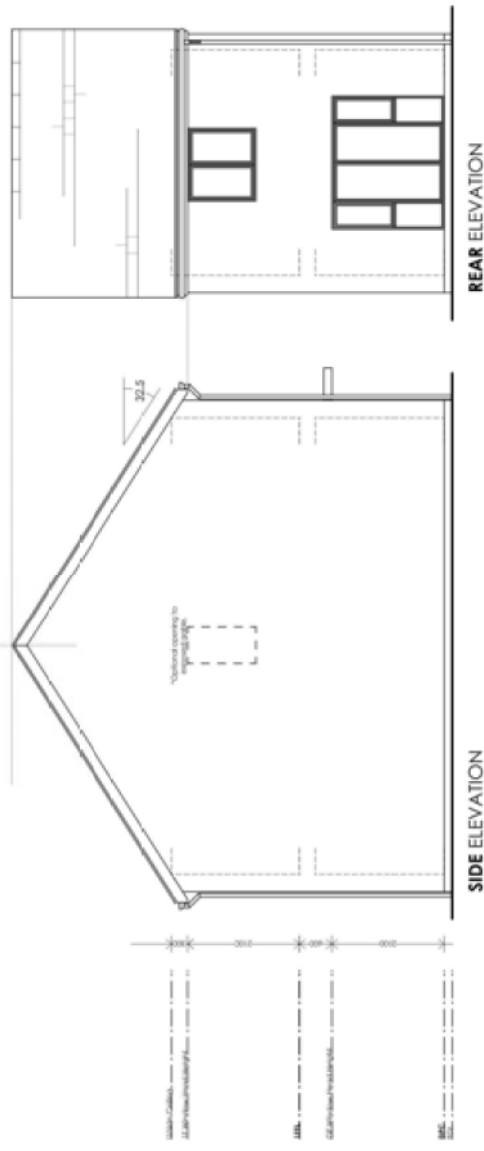
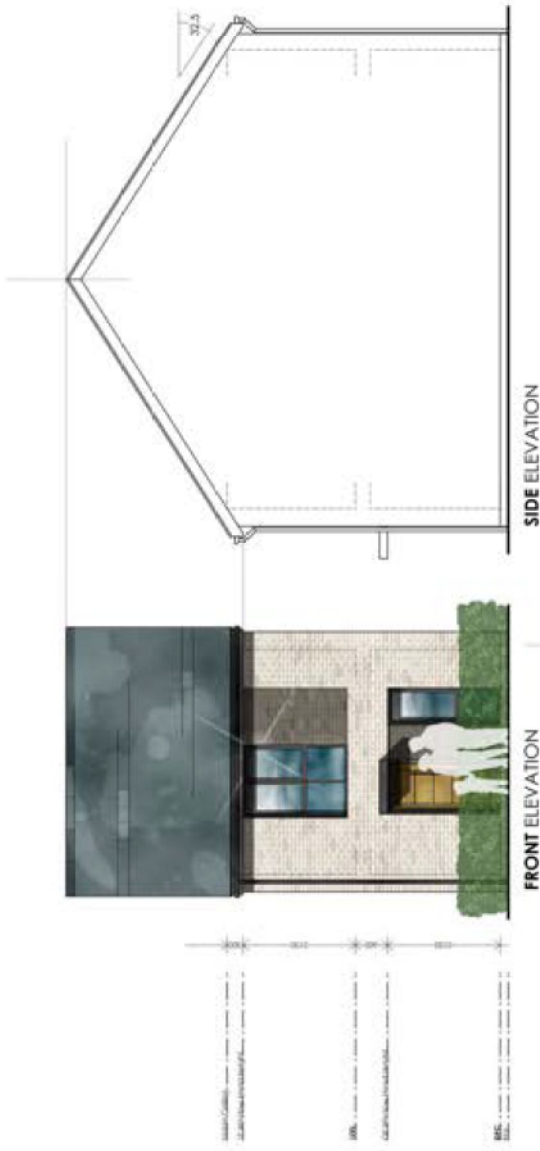
**2 BED. 4 PERSON. 774 FLOOR PLANS**

- A House type increased from 2B3P\_723 soft to 2B4P\_774 soft. French doors added to GF rear lounge. Conventional GF plan option 2 added. SVP repositioned. Door to FF store moved to B2. GF option 1 WC door handed.
- Amendments
- By \_\_\_\_\_ Date \_\_\_\_\_

**PLANNING**

Job No/Drawing No	Job Title
21431/6003.1A	PH 7 Perrybrook
Scale	Drawing Title
1:100 @ A3	2B4P_774 - Floor Plans
All Dimensions to be checked on site. OS Licence No: -	





## 2 BED. 4 PERSON. 774 ELEVATIONS\_V1

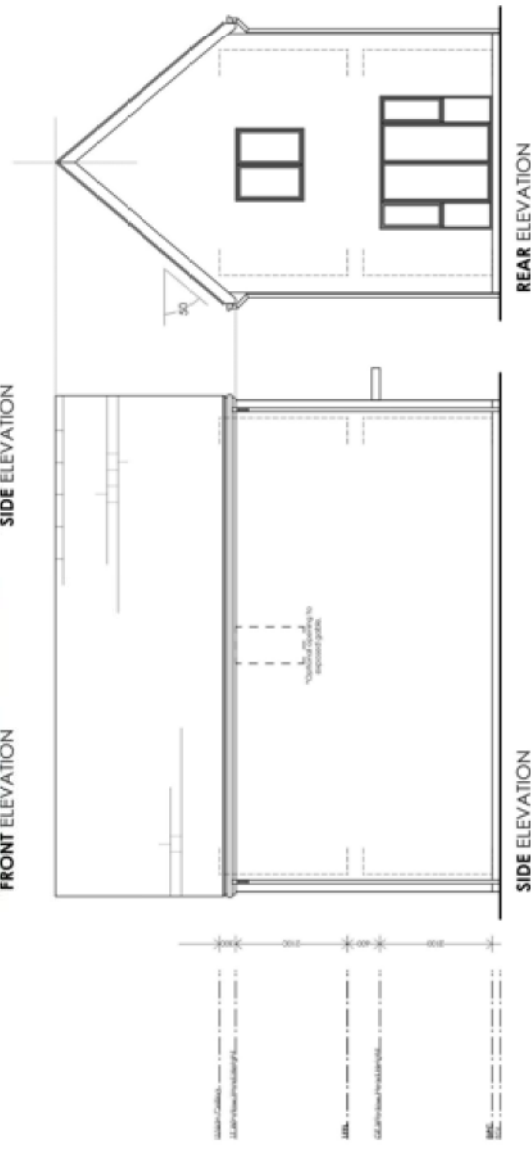
- B Roof pitch reduced from 35 to 32.5 degrees.
- A House type increased from 2B3P\_723 sqft to 2B4P\_774 sqft.  
Amendments: French doors added to GF rear elevation.

### PLANNING

Job No/Drawing No	Job Title
21431/6003.2B	PH 7 Perrybrook
Scale	Drawing Title
1:100	2B4P_774 - Elevations_V1
@ A3	
All Dimensions to be checked on site. OS Licence NZL.	

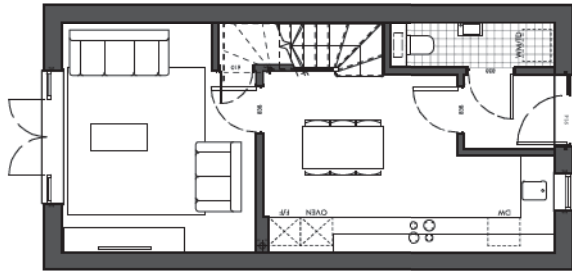
LG 15/2/22  
 LG 1/12/21  
 By Date





## 2 BED. 4 PERSON. 774 ELEVATIONS\_V2



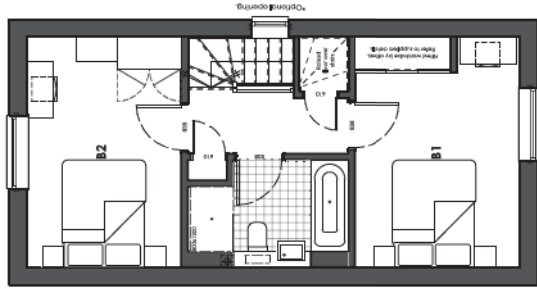


**GROUND FLOOR Option 2**



**GROUND FLOOR Option 1**

**GROSS INTERNAL AREA 79.4 M<sup>2</sup> / 854 FT<sup>2</sup>**  
(MEASURED TO FINISHED FACE OF INTERNAL PERIMETER)



**FIRST FLOOR**

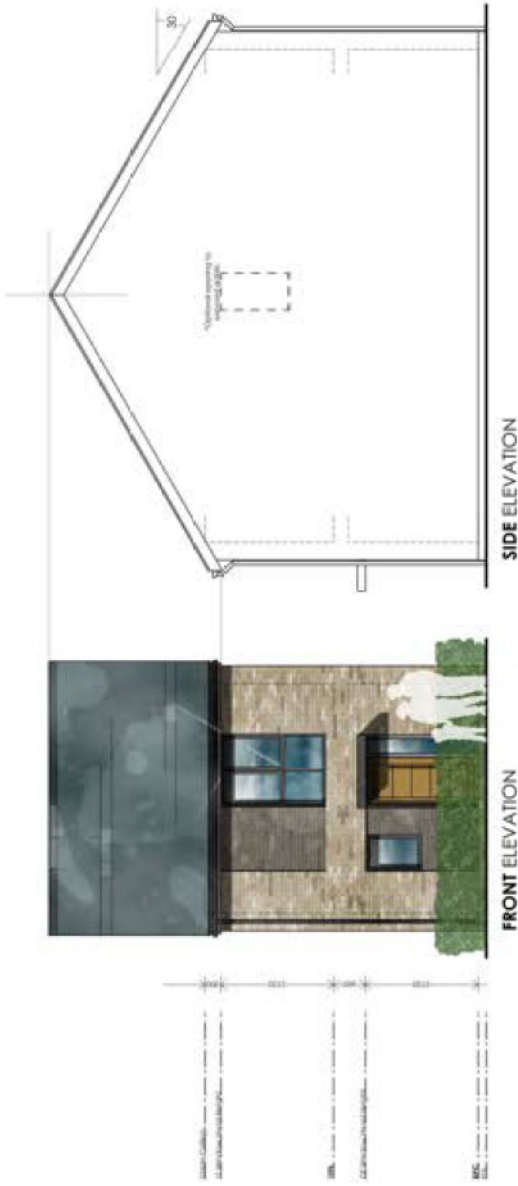
**2 BED. 4 PERSON. 854 FLOOR PLANS**

- B WC door repositioned and lobby depth increased. Understairs door rotated 90 degrees on GF option 2. LG 12/1/22
  - A French doors added to GF rear lounge. Conventional GF plan option 2 added. GF lobby door handed. Peninsula removed - kitchen returned along front elevation. Combined WC & WM/TD room. SVP relocated. LG 3/12/21
- Amendments By \_\_\_\_\_ Date \_\_\_\_\_

**PLANNING**

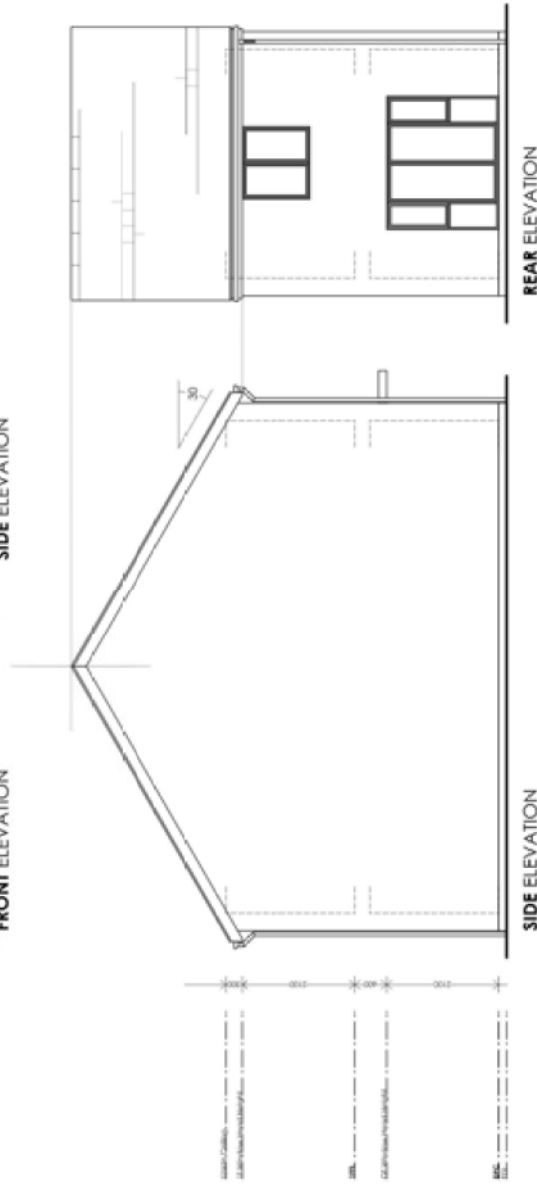
Job No/Drawing No **21431/6004.1B** Job Title **PH 7 Perrybrook**  
 Scale **1:100 @ A3** Date **11/21** Drawn **LG** Drawing Title **2B4P\_854 - Floor Plans**  
 All Dimensions to be checked on site. OS Licence No: \_\_\_\_\_





**FRONT ELEVATION**

**SIDE ELEVATION**



**SIDE ELEVATION**

**REAR ELEVATION**

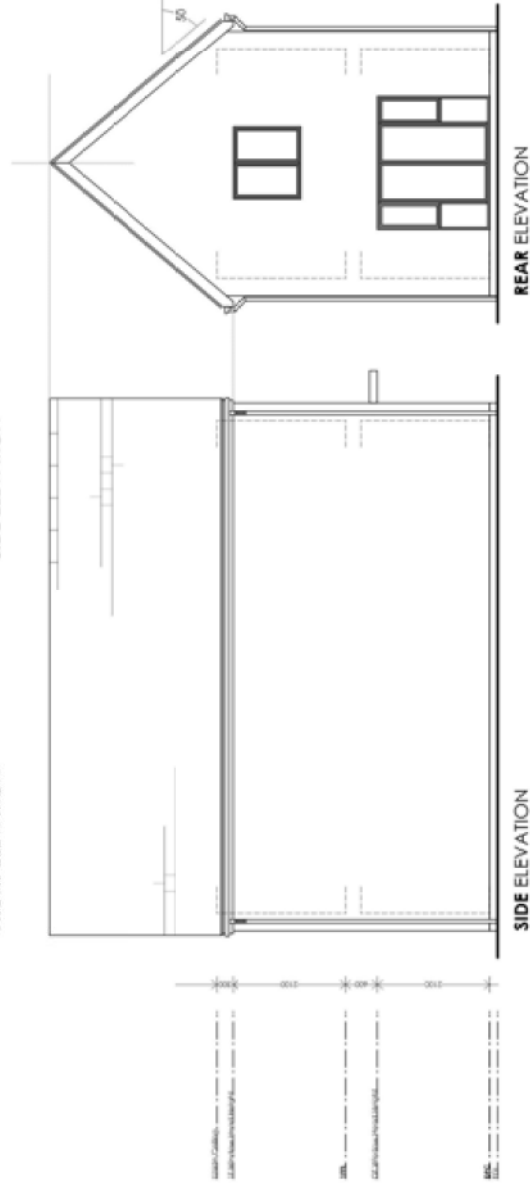
**2 BED. 4 PERSON. 854 ELEVATIONS\_V1**

- B Roof pitch reduced from 35 to 30 degrees.
- A French doors added to GF rear elevation. Window to GF front elevation resized.

**PLANNING**

Job No/Drawing No	Job Title
21431/6004.2B	PH 7 Perrybrook
Scale	Date
1:100	11/21
By AJ	LG
Drawing Title	
284P_854 - Elevations_V1	
All Dimensions to be checked on site. OS Licence No.:	
pad Design Ltd - The Tobacco Factory - Raleigh Road - Millis B33 1BP - Tel: 0117 930009 - www.pad-design.com	





**2 BED. 4 PERSON. 854 ELEVATIONS\_V2**

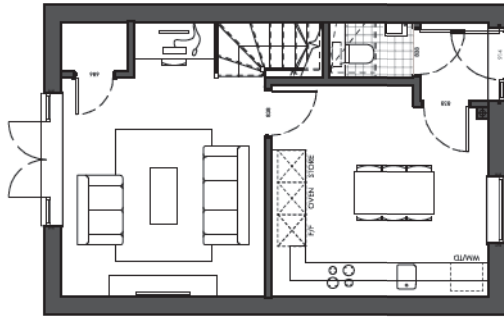
A French doors added to GF rear elevation. Window to GF front elevation resized.  
 Amendments By Date

**PLANNING**

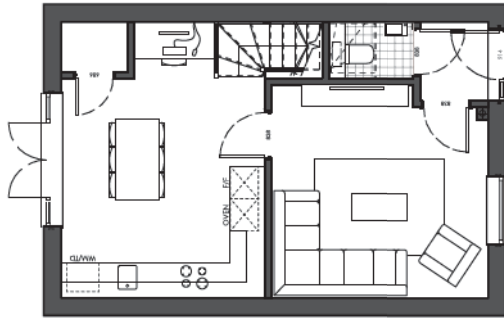
Job No/Drawing No	Job Title
21431/6004.3	PH 7 Perrybrook
Scale	Date
1:100	11/21
@ A3	LG
Drawing Title	
284P_854 - Elevations_V2	
All Dimensions to be checked on site. OS Licence NZL.	
pad Design Ltd - The Tobacco Factory - Raleigh Road - Rotorua 853 1P - Tel: 017 930009 - www.pad.design.com	



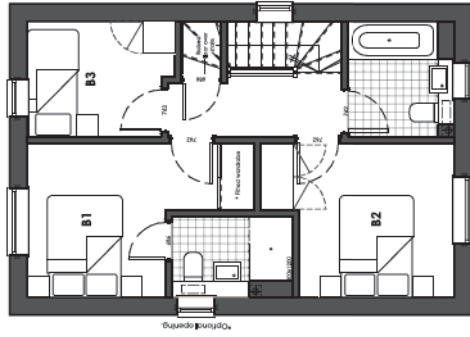




GROUND FLOOR Option 2



GROUND FLOOR Option 1



FIRST FLOOR

**GROSS INTERNAL AREA 82.3 M<sup>2</sup> / 886 FT<sup>2</sup>**  
(MEASURED TO FINISHED FACE OF INTERNAL PERIMETER)

**3 BED. 5 PERSON. 886 FLOOR PLANS**

- C GF (both options) cupboard size, door type and position updated. Desk space increased from 1.2m to 1.5m wide - desk space added to GF Option 1. Tall store unit added to GF option 2 kitchen. LG 20/1/22
  - B GF & FF reduced in size and reconfigured to 82.3m<sup>2</sup>. Two GF options explored. LG 13/1/22
  - A Conventional GF plan option 2 added. French doors added to rear of GF. Combined WC & W/M/T/D room. Home office area created within lounge. LG 2/12/21
- By \_\_\_\_\_ Date \_\_\_\_\_

**PLANNING**

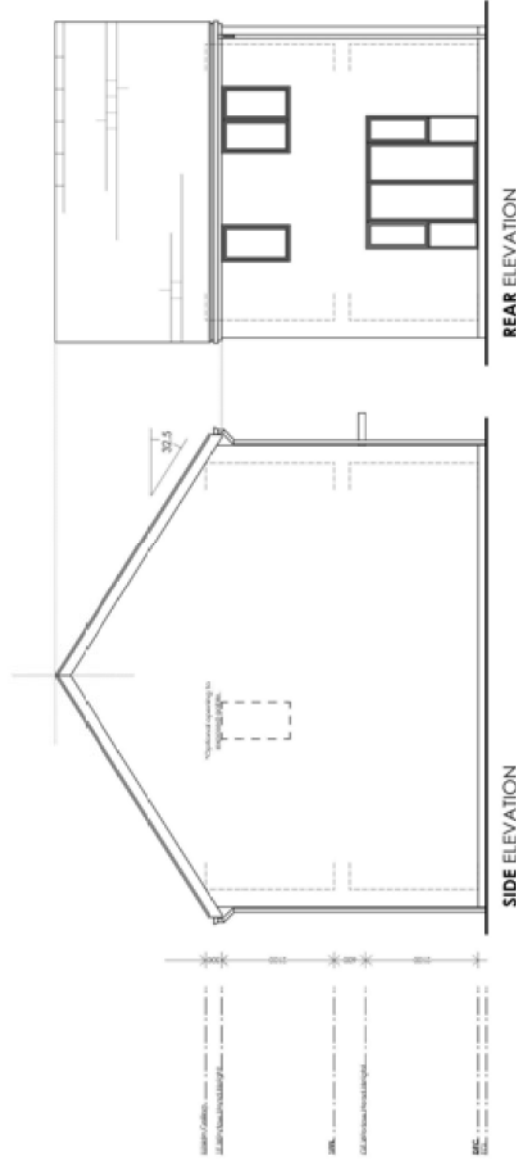
Job No/Drawing No <b>21431/6005.1C</b>		Job Title <b>PH 7 Perrybrook</b>	
Scale 1:100 @ A3	Date 11/21	Drawn LG	Drawing Title <b>385P_886 - Floor Plans</b>
All Dimensions to be checked on site. OS Licence No: -			
pad Design Ltd - The Tobacco Factory - Raleigh Road - Bishal B33 1TF - Tel: 0117 9530039 - www.pad-design.com			





**FRONT ELEVATION**

**SIDE ELEVATION**



**REAR ELEVATION**

**SIDE ELEVATION**

**3 BED. 5 PERSON. 886 ELEVATIONS\_V1**

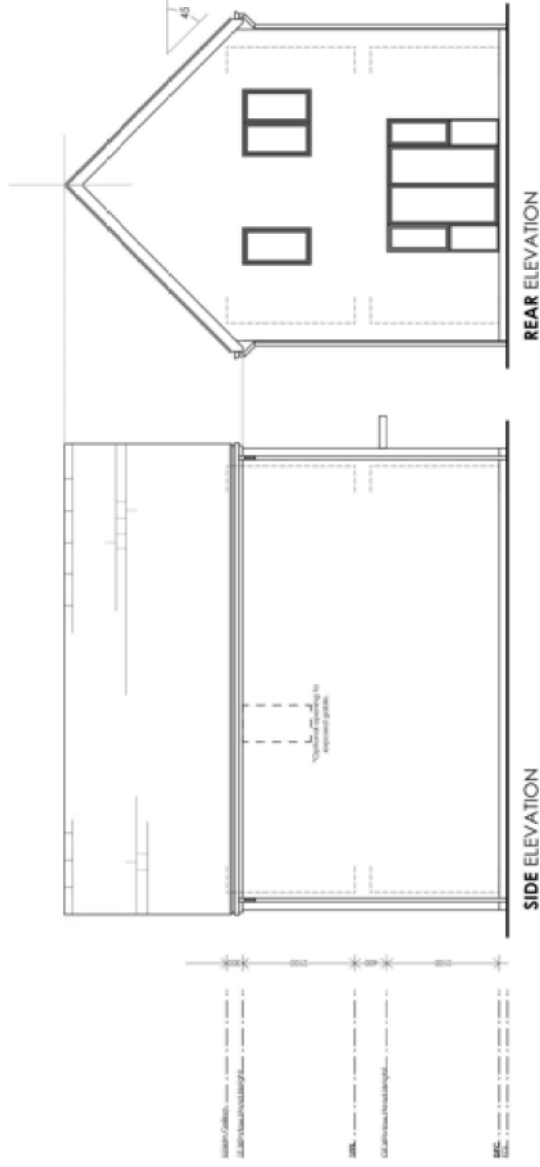
- C Roof pitch reduced from 35 to 32.5 degrees.
- B Elevations updated to match new GF & FF footprints.
- A French doors added to GF rear lounge.  
Amendments

**PLANNING**

Job No/Drawing No	Job Title
21431/6005.2C	PH 7 Perrybrook
Scale	Date
1:100	11/21
By AJ	LG
Drawing Title	
38SP_886 - Elevations_V1	
All Dimensions to be checked on site. OS Licence NZL.	

pad  
PROFESSIONAL ARCHITECTS  
 100/101 The Tobacco Factory - Raleigh Road - Mairangi Bay - Auckland 1313 - Tel: 0117 930009 - www.pad.design.com





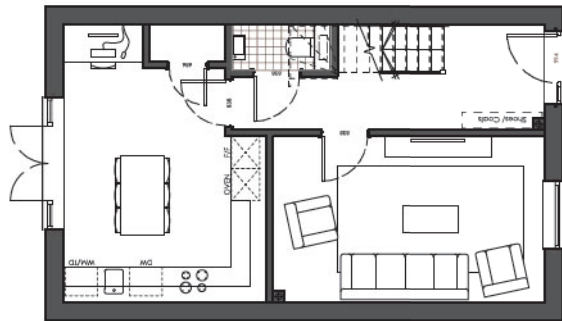
**3 BED. 5 PERSON. 886 ELEVATIONS\_V2**



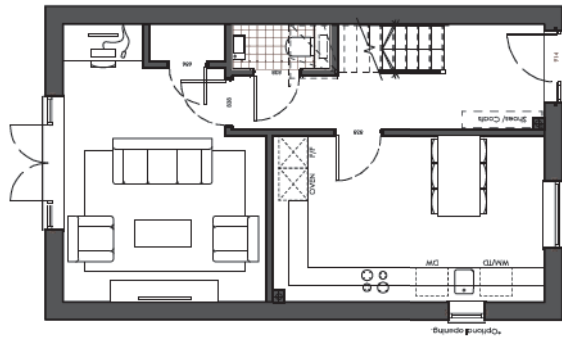
**PLANNING**

Job No/Drawing No	Job Title
21431/6005.3	PH 7 Perrybrook
Scale	Drawing Title
1:100	38-SP_886 - Elevations_V2
0 A3	IG
Date Drawn	
11/21	
Date Checked	
05 Licence NZE	
All Dimensions to be checked on site	
pad Design Ltd - The Tobacco Factory - Raleigh Road - Rotorua 883 187 - Tel: 017 930009 - www.pad.design.com	

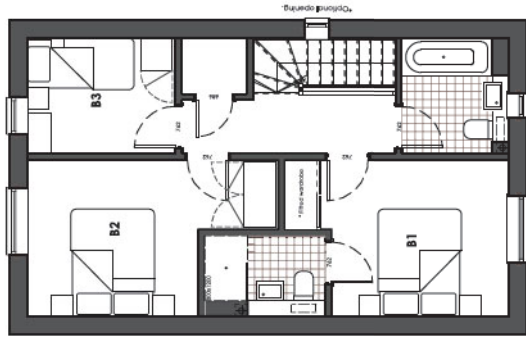




GROUND FLOOR Option 2



GROUND FLOOR Option 1



FIRST FLOOR

GROSS INTERNAL AREA 93.6 M<sup>2</sup> / 1007FT<sup>2</sup>  
(MEASURED TO FINISHED FACE OF INTERNAL PERIMETER)

**3 BED. 5 PERSON. 1007 FLOOR PLANS**

- C GF (both options) cupboard size, door type and position updated. WC position flipped. Desk space increased from 1.2m to 1.5m wide. FF bulkhead store removed. LG 20/1/22
  - B Traditional hallway arrangement to GF. stair and WC relocated. GF option 2 added with kitchen/diner to the rear. LG 13/1/22
  - A French doors added to GF rear lounge. Optional window added to GF kitchen. GF storage reconfigured. GF lounge wall moved to edge of stair. B1 & B2 wardrobes repositioned. LG 6/12/21
- Amendments By \_\_\_\_\_ Date \_\_\_\_\_

**PLANNING**

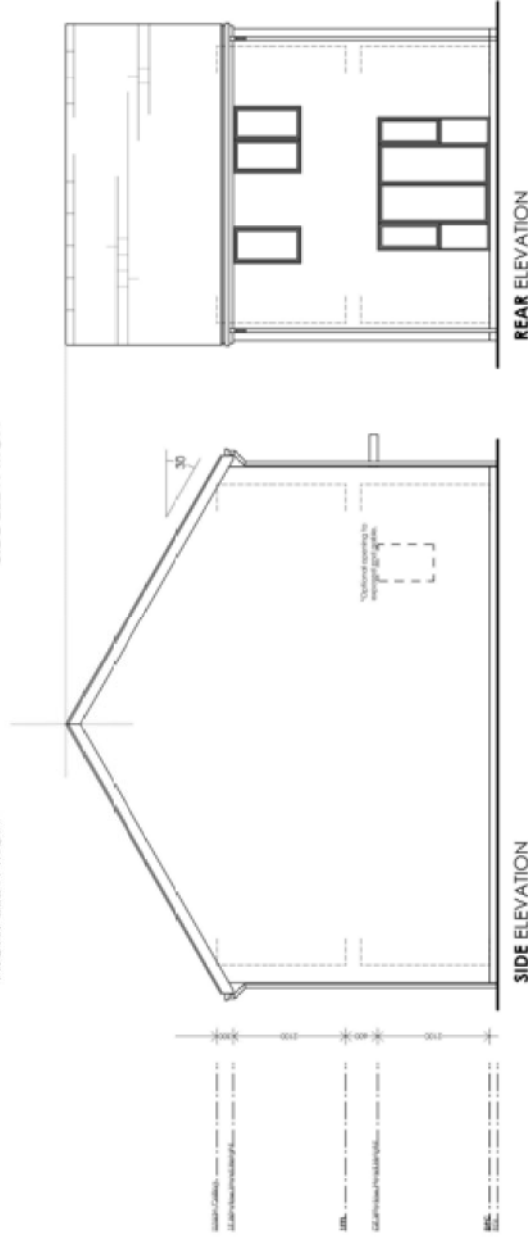
Job No/Drawing No	PH 7 Perrybrook
21431/6007.1C	
Scale	Drawing Title
1:100	385P_1007 - Floor Plans
@ A3	
All Dimensions to be checked on site CS Licence No: -	
pad Design Ltd - The Tobacco Factory - Raleigh Road - Bristol BS3 1TF - Tel: 0117 9530039 - www.pad-design.com	





**FRONT ELEVATION**

**SIDE ELEVATION**



**REAR ELEVATION**

**SIDE ELEVATION**

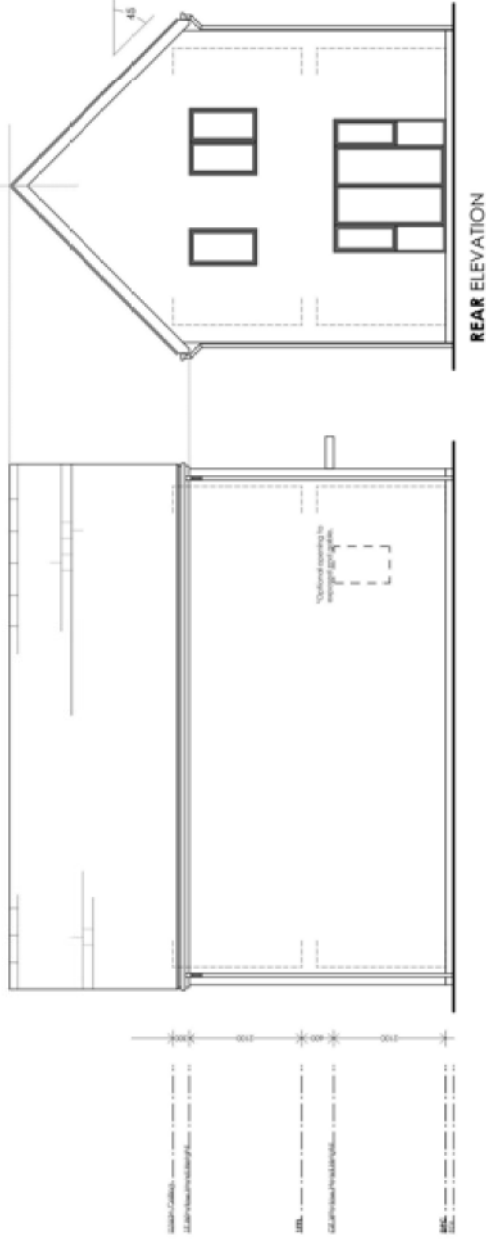
**3 BED. 5 PERSON. 1007 ELEVATIONS\_V1**

- C Front elevation gable removed. Roof pitch reduced from 35 to 30 degrees. LG 10/2/22
- B Elevations updated to match revised GF & FF footprints, LG 13/1/22
- A French doors added to GF rear lounge. Optional window added to GF kitchen. LG 6/12/21

**PLANNING**

Job No/Drawing No	Job Title	By	Date
21431/6007.2C	PH 7 Perrybrook		
Scale	Date	Drawn	
1:100	11/21	LG	
# A3			
All Dimensions to be checked on site. OS Licence NZL.			
pad Design Ltd - The Tobacco Factory - Ratahi Road - Rotorua 3013 - Tel: 017 930009 - www.pad.design.com			





**3 BED. 5 PERSON. 1007 ELEVATIONS\_V2**

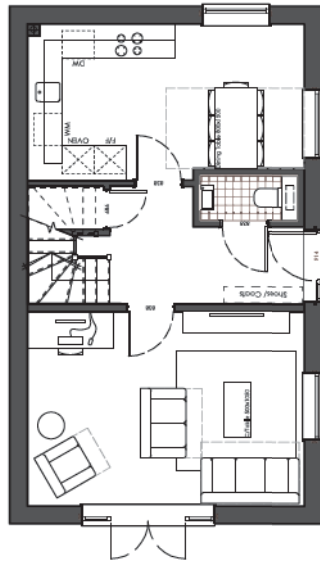
Amendments By Date

**PLANNING**

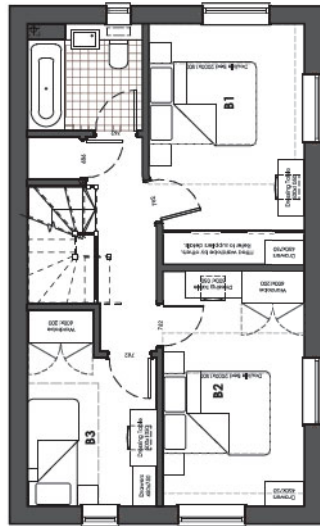
Job No/Drawing No	Job Title
21431/6007.3	PH 7 Perrybrook
Scale	Drawing Title
1:100	38.SP_1007 - Elevations_V2
@ A3	IG
Date	Drawn
11/21	IG
All Dimensions to be checked on site. OS Licence NZL.	
pad Design Ltd - The Tobacco Factory - Raleigh Road - Rotorua 803 107 - Tel: 017 930009 - www.pad.design.com	







GROUND FLOOR



FIRST FLOOR

**GROSS INTERNAL AREA 93.6 M<sup>2</sup> / 1007 FT<sup>2</sup>**  
(MEASURED TO FINISHED FACE OF INTERNAL PERIMETER)

**3 BED. 5 PERSON. 1007 FLOOR PLANS\_V3**

- B WC relocated. Stair amended. Kitchen reconfigured. S/rep removed from lounge wall. FF bulkhead store removed. FF store created next to bathroom. Minor spatial adjustments to B1, B2 & B3. LG 20/1/22
  - A Entrance lobby. WC and kitchen/diner reconfigured. Stair and FF cupboard repositioned. Bathroom towel storage space added. B3 enlarged. LG 13/1/22
- Amendments By Date

**PLANNING**

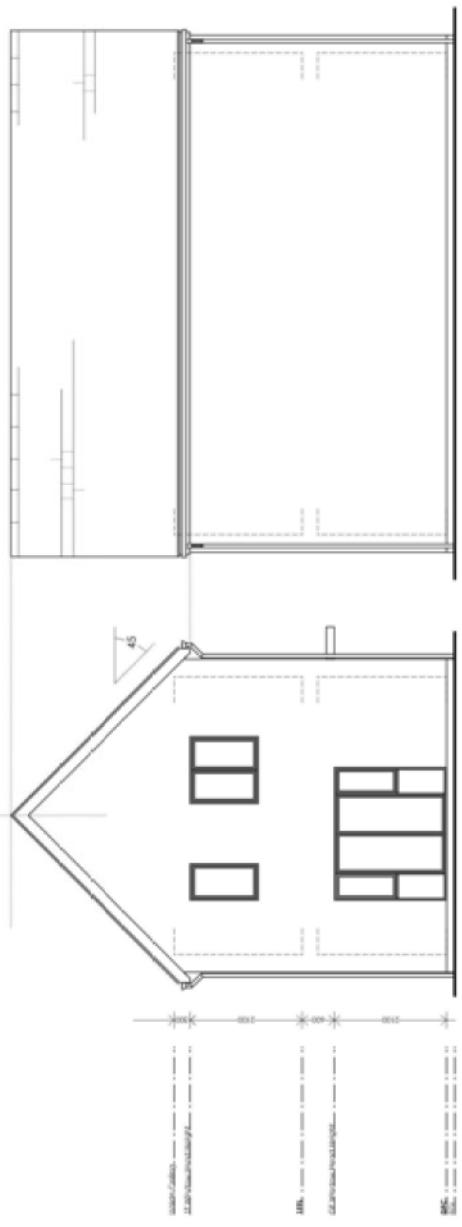
Job No/Drawing No <b>21431/6007.4B</b>	Job Title <b>PH 7 Perrybrook</b>
Scale <b>1:100 @ A3</b>	Drawing Title <b>385P_1007 - Floor Plans_V3</b>
Date <b>11/21</b>	Drawn <b>LG</b>
All Dimensions to be checked on site. OS Licence No: -	
pad Design Ltd - The Tobacco Factory - Raleigh Road - Bishopton B83 1TF - Tel: 01779530039 - www.pad-design.com	





FRONT ELEVATION

SIDE ELEVATION



REAR ELEVATION

SIDE ELEVATION

**3 BED. 5 PERSON. 1007 ELEVATIONS\_V3**

- C Front elevation gable removed. LG 10/2/22
  - B GF side elevation dining room window changed to full height. LG 20/1/22
  - A Elevations updated to match revised GF & FF footprints. LG 13/1/22
- Amendments By Date

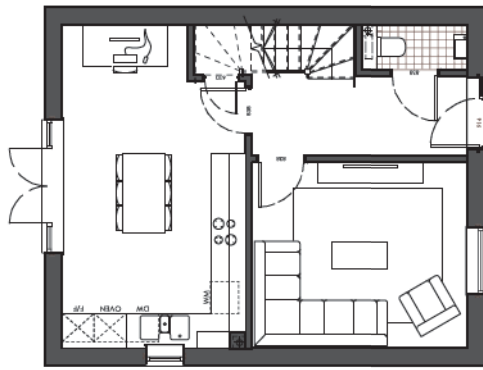
**PLANNING**

Job No/Drawing No Job Title  
**21431/6007\_5C** PH 7 Perrybrook

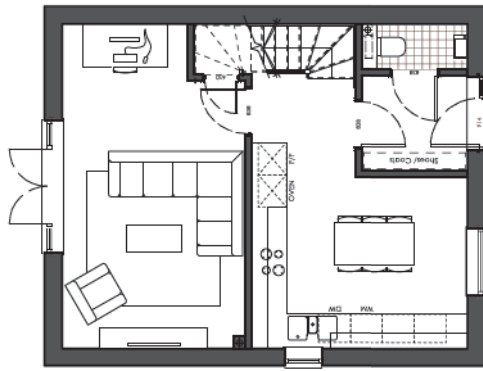
Scale	Date	Drawn	Drawing Title
1:100	11/21	LG	38SP_1007 - Elevations_V3
1:100	11/21	LG	38SP_1007 - Elevations_V3

All Dimensions to be checked on site. OS Licence NZL  
 pad Design Ltd - The Tobacco Factory - Raleigh Road - Rotorua 803 107 - Tel: 017 930009 - www.pad.design.com

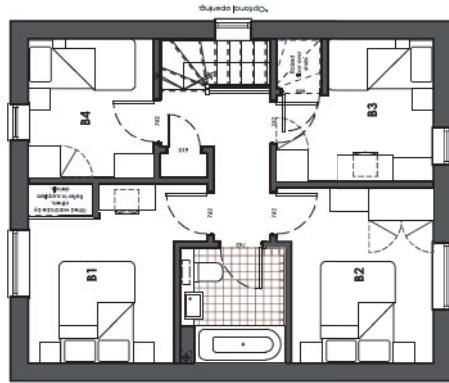




GROUND FLOOR Option 2



GROUND FLOOR Option 1



FIRST FLOOR

**GROSS INTERNAL AREA 92.0 M<sup>2</sup> / 990 FT<sup>2</sup>**  
(MEASURED TO FINISHED FACE OF INTERNAL PERIMETER)

**4 BED. 6 PERSON. 990 FLOOR PLANS**

A Home office area added to GF option 1. Conventional GF plan  
 option 2 added. B3 window & furniture repositioned.  
 Amendments LG 6/12/21  
 By Date

**PLANNING**

Job No/Drawing No <b>21431/6008.1A</b>	Job Title <b>PH 7 Perrybrook</b>
Scale <b>1:100 @ A3</b>	Drawn <b>LG</b>
Date <b>11/21</b>	Drawing Title <b>4B4P_990 - Floor Plans</b>
All Dimensions to be checked on site. OS Licence No: -	
pad Design Ltd - The Tobacco Factory - Raleigh Road - Bishal B3 1TF - Tel: 0117 953039 - www.pad-design.com	

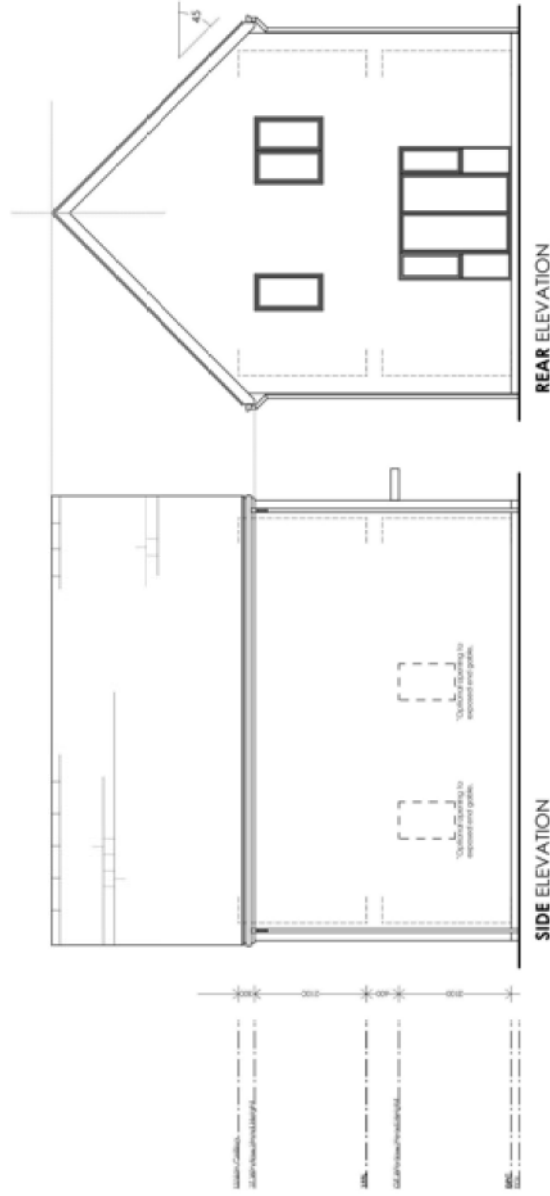






**FRONT ELEVATION**

**SIDE ELEVATION**



**REAR ELEVATION**

**SIDE ELEVATION**

205

**4 BED. 6 PERSON. 990 ELEVATIONS\_V2**

A Front elevation gable increased to form a true gable.  
Amendments

LG 15/2/22  
By Date

**PLANNING**

Job No/Drawing No  
**21431/6008.3A**

Job Title  
**PH 7 Perrybrook**

Scale  
**1:100**

Date  
**11/21**

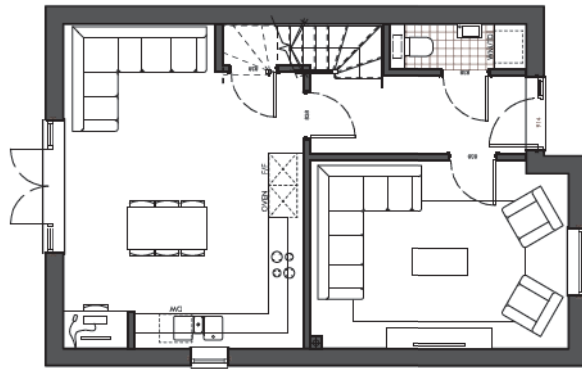
Drawn  
**LG**

Drawn Title  
**484P\_990 - Elevations\_V2**

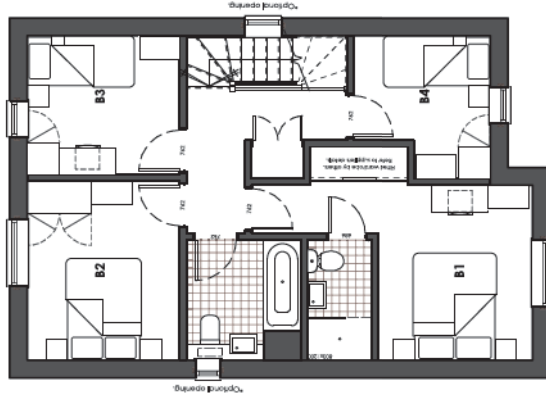
By  
**AJ**

All Dimensions to be checked on site. OS Licence NZL.





**GROUND FLOOR**



**FIRST FLOOR**

**GROSS INTERNAL AREA 110.2 M<sup>2</sup> / 1186 FT<sup>2</sup>**  
(MEASURED TO FINISHED FACE OF INTERNAL PERIMETER)

**4 BED. 6 PERSON. 1186 FLOOR PLANS**

- C FF bulkhead store removed.
  - B Kitchen door handed. Lounge widened by 250mm.
  - A French doors added to rear of GF. Combined WC & WM/TD room. Kitchen peninsula removed. Home office area created within kitchen/diner. B2 & bathroom wall lined up with B3. Boxing removed to B1 ensuite.
- Amendments
- By \_\_\_\_\_ Date \_\_\_\_\_

**PLANNING**

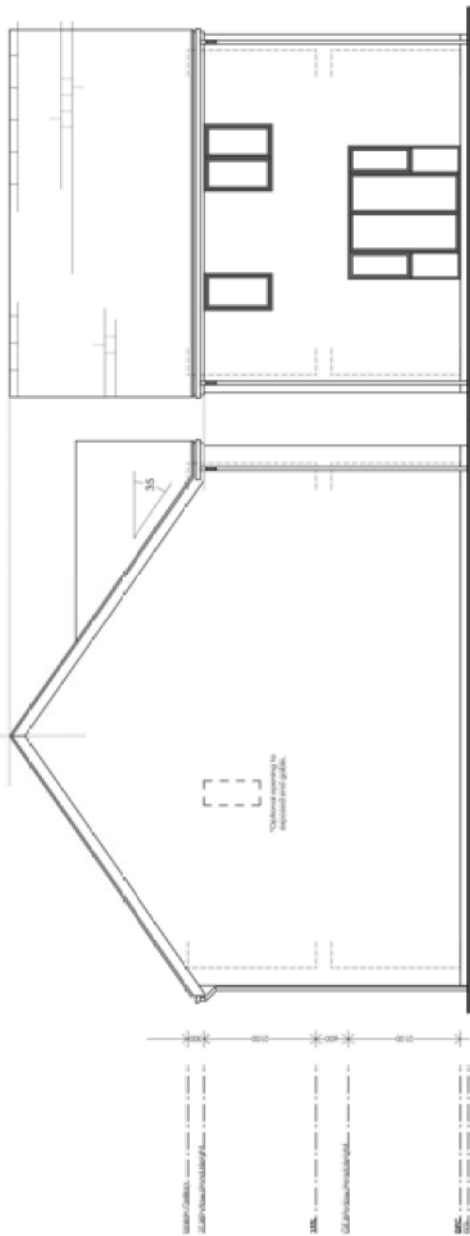
Job No/Drawing No	Job Title
21431/6010.1C	PH 7 Perrybrook
Scale	Date
1:100	11/21
@ A3	LG
Drawing Title	
4B4P_1186 - Floor Plans	
All Dimensions to be checked on site	
OS Licence No: _____	
pad Design Ltd - The Tobacco Factory - Raleigh Road - Bishal B33 1TF - Tel: 0117 9530039 - www.pad-design.com	





**FRONT ELEVATION**

**SIDE ELEVATION**



**SIDE ELEVATION**

**REAR ELEVATION**

**4 BED. 6 PERSON. 1186 ELEVATIONS**

A French doors added to GF rear elevation.  
Amendments

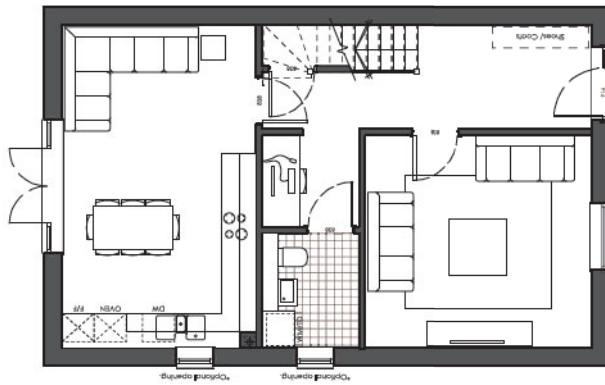
LG 6/12/21  
By  
Date

**PLANNING**

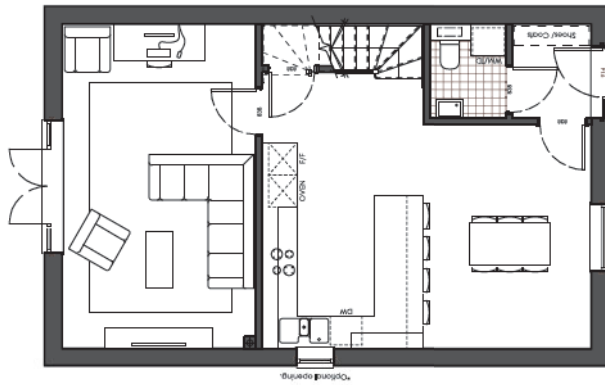
Job No./Drawing No.	PH 7 Perrybrook
21431/6010.2A	Drawing Title
Scale	1:100
Date	11/21
Drawn	LG
Checked	LG
Project	484P_1186 - Elevations
All Dimensions to be checked on site. OS Licence No.:	
pad Design Ltd - The Tobacco Factory - Raleigh Road - Rialto B3 1BP - Tel: 017 930009 - www.pad.design.com	



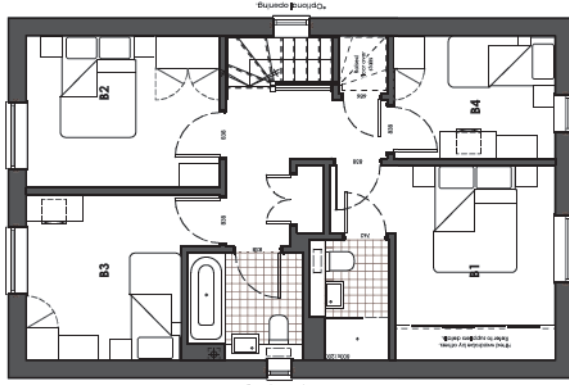




GROUND FLOOR Option 2



GROUND FLOOR Option 1



FIRST FLOOR

**GROSS INTERNAL AREA 119.8 M<sup>2</sup> / 1290 FT<sup>2</sup>**  
(MEASURED TO FINISHED FACE OF INTERNAL PERIMETER)

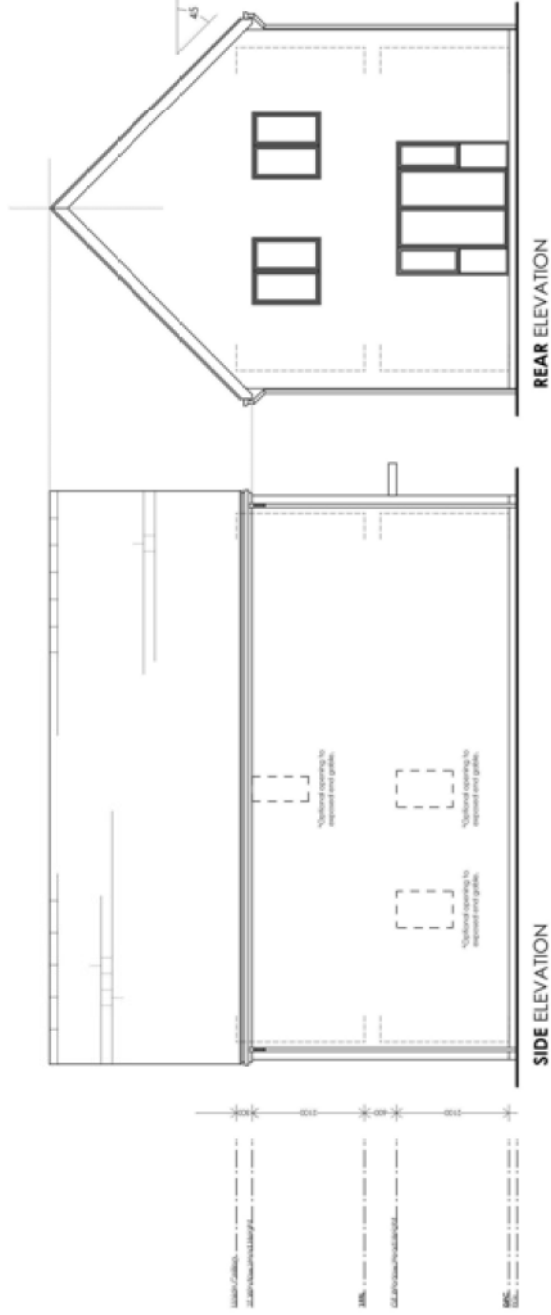
**4 BED. 6 PERSON. 1290 FLOOR PLANS**

- B Optional lobby removed from GF option 2. B4 wall & FF store adjusted. Additional FF store added next to bathroom. LG 20/1/22
  - A French doors added to rear of GF. Additional optional windows added to side elevation. Combined WC & WM/ID room. Kitchen peninsula removed to GF option 2. Home office area created on both GF options. B3 furniture reorientated. LG 7/12/21
- Amendments By \_\_\_\_\_ Date \_\_\_\_\_

**PLANNING**

Job No/Drawing No 21431/6011.1B  
 Job Title PH 7 Perrybrook  
 Scale 1:100 @ A3  
 Date 11/21  
 Drawn LG  
 Drawing Title 4B4P\_1290 - Floor Plans  
 All Dimensions to be checked on site CS Licence No: -  
 pad Design Ltd - The Tobacco Factory - Raleigh Road - Bistol B83 1TF - Tel: 0117 9530039 - www.pad-design.com





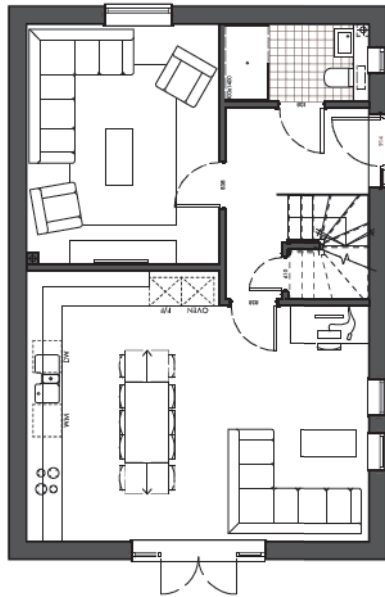
**4 BED. 6 PERSON. 1290 ELEVATIONS**

- B Front elevation gable increased to form a true gable.
  - A French doors added to GF rear elevation. Additional optional windows added to side elevation.
- Amendments
- By \_\_\_\_\_ Date \_\_\_\_\_

**PLANNING**

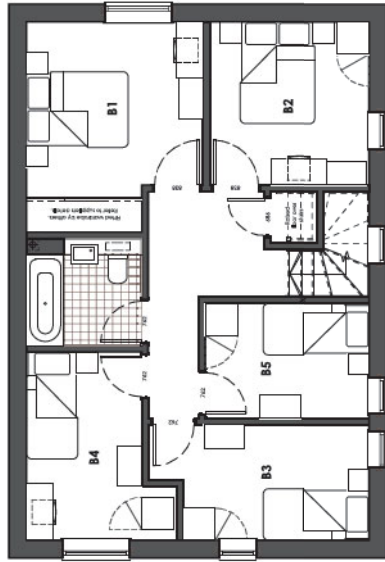
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 Job Title: PH 7 Perrybrook  
 Scale: 1:100  
 Date: 11/21  
 Drawn: LG  
 Checked: AJ  
 Drawing Title: 484P - 1290 - Elevations  
 All Dimensions to be checked on site. OS Licence No. \_\_\_\_\_  
 pad Design Ltd - The Tobacco Factory - Raleigh Road - Bristol BS3 1BP - Tel: 0117 930009 - www.pad.design.com





**GROUND FLOOR**

**GROSS INTERNAL AREA 124.3 M<sup>2</sup> / 1338 FT<sup>2</sup>**  
(MEASURED TO FINISHED FACE OF INTERNAL PERIMETER)



**5 BED. 7 PERSON. 1337 FLOOR PLANS**

- B Shower tray added to GF WC. Single door added to lounge. FF cupboard depth increased by 250mm. LG 13/1/22
  - A French doors added to rear of GF. Combined WC/Wet room. Kitchen peninsula removed. Living area added to GF. Kitchen/diner. Home office area created. Stair reconfigured. Entire FF reconfigured. LG 7/12/21
- Amendments By Date

**PLANNING**

Job No/Drawing No Job Title  
**21431/6012.1B PH 7 Perrybrook**

Scale Date Drawn Drawing Title  
 1:100 11/21 LG 587P\_1337 - Floor Plans

All Dimensions to be checked on site CS Licence No: -  
 pad Design Ltd - The Tobacco Factory - Raleigh Road - Bristol BS3 1TF - Tel: 0117 953039 - www.pad-design.com





**FRONT ELEVATION**

**SIDE ELEVATION**



**REAR ELEVATION**

**SIDE ELEVATION**

**5 BED. 7 PERSON. 1337 ELEVATIONS**

- B Front elevation gable increased to form a true gable, LG 15/2/22
  - A French doors added to GF rear elevation. Windows positions adjusted to match floor plans. LG 7/12/21
- Amendments

**PLANNING**

Job No/Drawing No  
**21431/6012.2B**  
 Job Title  
**PH 7 Perrybrook**  
 Scale  
 1:100  
 Date  
 11/21  
 Drawing Title  
 LG  
 587P\_1337 - Elevations  
 @ A3  
 All Dimensions to be checked on site. OS Licence NZL  
 pad Design Ltd - The Tobacco Factory - Rangleigh Road - Rotorua 3013 - Tel: 017 930009 - www.pad.design.com





**PLANNING APPEALS RECEIVED (05/06/2023 – 30/06/2023)**

Appeal Start Date	TBC Planning Number	Inspectorate Number	Proposal	Site Address	Appeal Procedure
12-June-23	19/00172/OPDEV	APP/G1630/C/23/3322207	Appeal against enforcement notice for the material change of use of the land from agricultural use to use for residential purposes facilitated by the siting of a new residential dwelling thereon	Plot 10 Warren Fruit Farm Evesham Road Greet	Written Representation

**PLANNING APPEALS DECIDED (05/06/2023 – 30/06/2023)**

Appeal Decision Date	Appeal Decision	TBC Planning Number	Inspectorate Number	Proposal	Site Address
21 09 June-23	Appeal Dismissed	20/00004/HH	APP/HH/2032	High Hedge	83 Stoke Road Bishops Cleeve
23-June-23	Appeal Allowed, Planning Permitted	22/00973/FUL	APP/G1630/D/23/3317562	Extensions to existing summer house to provide additional ancillary accommodation.	57 Gretton Road Gotherington
26-June-23	Appeal Allowed, Planning Permitted	22/00624/OUT	APP/G1630/W/22/3310117	Outline application for the demolition of 16 St Margarets Drive and the erection of up to 48 dwellings (a net increase of 47 dwellings), associated infrastructure, landscape and biodiversity enhancements, all matters reserved except for access from St Margarets Drive	Land East Of St Margarets Drive, Alderton